



agenda

**COASTAL
SAN PEDRO
NEIGHBORHOOD COUNCIL**

locally listening & leading ...  ..

BOARD AND STAKEHOLDER MEETING AGENDA

Monday 15 March 2021 6:15 PM

Zoom Electronic Meeting Online or by Telephone

To join the meeting:

By computer, use Zoom from this URL: <https://zoom.us/j/92904255148>

or

By telephone, **dial: 669-900-6833** then enter ID: **929 0425 5148** and **press #**
(or dial a toll-free number: **833-548-0282, 888-475-4499, 877-853-5257, or 833-548-0276**)

In conformity with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the Coastal San Pedro Neighborhood Council meeting will be conducted entirely telephonically.

Every person wishing to address the Neighborhood Council may use URL <https://zoom.us/j/92904255148> to use the Zoom application, or may use a telephone by dialling 669-900-6833 or one of the following toll-free numbers: 833-548-0282, 888-475-4499, 877-853-5257, 833-548-0276. After dialing in on a telephone, enter 929 0425 5148 and then press # to join the meeting. Instructions on how to sign up for public comment will be given to listeners at the start of the meeting.

PUBLIC INPUT AT NEIGHBORHOOD COUNCIL MEETINGS — The public is requested to dial *9, when prompted by the presiding officer, to address the assembly on any agenda item before action is take on an item. Comments from the public on agenda items will be heard only when the respective item is being considered. Comments from the public on other matters not appearing on the agenda that are within the assembly's jurisdiction will be heard during the General Public Comment period. Please note that under the Brown Act, the assembly is prevented from acting on a matter that you bring to its attention during the General Public Comment period; however, the issue raised by a member of the public may become the subject of a future meeting. Public comment may be limited to a fixed time per speaker or a limited number of speakers by the presiding officer of the assembly. Those wishing to make comment, but not wanting to speak publicly, may submit written communications to the Board.

1. Technical checkout for online meeting (no substantive discussion or comment) [15 minutes]
[Board members and public are welcome to check to make sure telephone or computer access is working properly. NOTE: no comment or discussion relevant to Board matters is permitted — please reserve substantive comment for periods of public comment and agenda items.]
2. Public comment on non-agenda items.
3. Call to order and roll call.
4. Board member comment on non-agenda items. *[May include comment on Board members' own activities/brief announcements; brief response to statements made or questions posed by persons exercising their general public comment rights or asking questions for clarification; introduction of new issues for consideration by the Board at its next meeting; or requests for research and a report back to the Board.]*
5. Approval of prior meeting minutes.
6. Report from Los Angeles Police Department [5 minutes]
7. Neighborhood Purpose Grant program update
8. Motion recommending doubling the budget of the City Ethics Commission.
9. Motion recommending improvements to Gaffey Street Overlook.
10. Motion regarding public access around and the natural restoration of Fromhold Field.
11. Motion to support CF 20-21-0002 S21 in opposition to SB 10.
12. Motion to support proposed project at 3401 Patton Ave.
13. Committee reports.
14. Treasurer's report.

Budget and Finance (Consent Calendar)

15. Approval of Monthly Expenditure Reports for February.
16. Approval of Monthly Expenses, including approval of Treasurer's payment of all recurring Neighborhood Council expenses including (but not limited to) Lloyd Staffing, The Mailroom, and office supplies.
17. Approval of funding requests received from committees.
18. The Coastal San Pedro Neighborhood Council authorizes payment to Andrew Menzies in the amount of \$5,790.00 for invoices #12019 and #22018 for fiscal year 2019. *[Invoices attached]*
19. Appointments of committee officers, committee members, and Board representatives, including but not limited to appointing Danielle Ramos to the following committees: Administrative Operations, Communications, Elections, Emergency Preparedness and Public Safety, Environment and Sustainability, Parks and Coastline, Planning and Transportation, Port, and the appointment of Sheryl Akerblom as Budget Representative (replacing Doug Epperhart).
20. Announcements.
21. Public comment on non-agenda items.
22. Adjournment.

8. Motion recommending doubling the budget of the City Ethics Commission.

Administrative Operations Committee

The Coastal San Pedro Neighborhood Council supports doubling the budget of the City Ethics Commission from approximately \$3.69M to \$7M.

CSPNC shall file a Community Impact Statement

9. Motion recommending improvements to Gaffey Street Overlook.

Coastline and Parks Committee

Whereas, the Lookout Point Park (commonly known as the Gaffey Street Overlook) parking lot on Gaffey Street at 35th Street has been a long-time public nuisance, as people stay past curfew hours well into the early morning. Based on numerous reports from community members and from members of the Los Angeles Police Department, the parking lot is a source of illegal and disruptive activities after park hours that have interfered with the comfortable enjoyment of life and property to the neighbors living near the park and to the park itself;

Whereas, the parking lot is also a preferred area for loud vehicle road racing and donut tire skidding due to the additional width of Gaffey Street at that location (Gaffey Street is approximately 88 feet wide at the parking lot, compared to the normal Gaffey Street width of 47 feet, which includes parallel street parking on both sides);

Whereas, LAPD has complained that when, on occasion, they clear the parking lot during the posted closure hours of 10:30 pm to 5:30 am, disruptive activities soon resume thereafter; and

Whereas, LAPD has indicated that the disruptive nighttime activity at the parking lot is due to people who drive to the parking lot, as opposed to pedestrians;

Therefore Be It Resolved that, in order to improve the quality of life for nearby residents, provide night-time security and road safety, and reduce the need for night-time LAPD calls to the park, the Coastal San Pedro Neighborhood Council urgently requests that the City Department of Recreation and Parks, in conjunction with the City Department of Transportation, develop and implement an access/enclosure system for the Gaffey Street Overlook parking lot to restrict parking during the posted closure hours of 10:30 p.m. to 5:30 a.m. Such system should: (a) be aesthetically pleasing and not restrict views from the park; (b) not impinge on the pedestrian sidewalk between the parking lot and the park; (c) preserve the existing number of parking spaces in the lot for use during the park's normal opening hours and if possible, increase the number of parking spaces within the lot during normal opening hours; and (d) include hazard lights, reflectors, or other safety features aimed at reducing night-time travel speeds along the portion of Gaffey Street paralleling the parking lot.

Community Impact Statement to be transmitted to: Council District 15, Los Angeles Department of Transportation, Los Angeles Police Department, Los Angeles Department of Parks and Recreation

10. Motion regarding public access around and the natural restoration of Fromhold Field.

Coastline and Parks Committee

Whereas the California Coastal Act Section 30210 Access; recreational opportunities; posting states:

In carrying out the requirement of Section 4 of Article X of the California Constitution, maximum access, which shall be conspicuously posted, and recreational opportunities shall be provided for all the people consistent with public safety needs and the need to protect public rights, rights of private property owners, and natural resource areas from overuse, and

Whereas, The constant watering of the playing field at Fromhold Field is jeopardizing the natural cliff conditions that prevail in the White Point Area, and is in close proximity to the Paseo del Mar road closure due to the land slide, and

Whereas, Mary Star has their own baseball field and sufficient area to expand their sports activities; thus there is no need for them to privatize this area of public land,

Resolved, the Coastal San Pedro Neighborhood Council requests that the County make public access from all entry points around Fromhold field available to support the visitor serving qualities of this unique and beautiful Coastal view area, and

Further resolved, Coastal San Pedro Neighborhood Council requests restoring the area to its natural condition by removing the baseball field fences, bleachers, and other associated equipment, and then restoring the area with native plants.

11. Motion to support CF 20-21-0002 S21 in opposition to SB 10.

Planning, Land Use, and Transportation Committee

Whereas SB 10 is another attempt by the State to force upzoning on local entities. SB 10 would allow the City to upzone by right a parcel currently zoned for a single family to allow 10 units without CEQA review if: a) it is within one-half mile of a major transit stop or on a “high quality” bus corridor, b) it is in a “jobs rich” area, or c) it is an “urban infill site.” This would duplicate some of the provisions of the City’s TOC program without the TOC requirements for affordable housing.

Whereas SB 10 is another example of the State Legislature seeking to take land use planning away from local government, may destroy the character of our neighborhoods, has the potential to overwhelm our infrastructure, and does nothing to address the lack of affordable housing. Indeed, it may push land costs even higher.

Whereas SB 10 would create additional bureaucracy by requiring the state to develop and update a map of “job rich” areas every 5 years.

Whereas support of CF 20-21-0002 S21 by Councilmember Koretz would include opposition to SB 10 in the City’s Legislative platform, thus instructing the City’s Lobbyists to actively to oppose it.

Therefore Be It Resolved that the Coastal San Pedro Neighborhood Council supports the City Council’s motion CF 20-21-0002 S21 to include opposition to SB 10 in the City’s legislative platform.

CSPNC shall file a Community Impact Statement

12. Motion to support proposed project at 3401 Patton Ave.

Planning, Land Use, and Transportation Committee

[See attached architectural submission]

Resolved, the Coastal San Pedro Neighborhood Council supports approval of the proposed project at 3401 Patton Ave.

CSPNC shall file a Community Impact Statement

For more information, please call 310-918-8650; write to CSPNC, 1840 S. Gaffey Street #34, San Pedro, CA 90731; or visit the Coastal San Pedro Neighborhood Council website at www.cspnc.org.

STATE OF CALIFORNIA PENAL CODE SECTION 403 (Amended by Stats. 1994, Ch. 923, Sec. 159. Effective January 1, 1995.) — Every person who, without authority of law, willfully disturbs or breaks up any assembly or meeting that is not unlawful in its character, other than an assembly or meeting referred to in Section 302 of the Penal Code or Section 18340 of the Elections Code, is guilty of a misdemeanor.

NOTICE TO PAID REPRESENTATIVES — If you are compensated to monitor, attend, or speak at this meeting, City law may require you to register as a lobbyist and report your activity. See Los Angeles Municipal Code §§48.01 et seq. More information is available at ethics.lacity.org/lobbying. For assistance, please contact the Ethics Commission at (213) 978-1960 or ethics.commission@lacity.org

PUBLIC ACCESS OF RECORDS — In compliance with government code section 54957.5, non-exempt writings that are distributed to all or a majority of the Board members in advance of a meeting may be viewed at 1840 S Gaffey St, San Pedro, CA 90731, at our website: <http://www.cspnc.org>, or at a scheduled meeting. In addition if you would like a copy of any record related to an item on the Agenda, please contact the Coastal San Pedro Neighborhood Council at 310-918-8650.

PUBLIC POSTING OF AGENDAS — Coastal San Pedro Neighborhood Council agendas are posted for public review as follows: 1840 S Gaffey St, San Pedro, CA 90731 and <http://www.cspnc.org>. You can also receive our agendas via email by subscribing to L.A. City's Early Notification System at: <http://www.lacity.org/government/Subscriptions/NeighborhoodCouncils/index.htm>

RECONSIDERATION AND GRIEVANCE PROCESS — For information on the Coastal San Pedro Neighborhood Council's process for board action reconsideration, stakeholder grievance policy, or any other procedural matters related to this Council, please consult the CSPNC Bylaws. The Bylaws are available at our Board meetings and our website <http://www.cspnc.org>

THE AMERICAN WITH DISABILITIES ACT — As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and upon request will provide reasonable accommodation to ensure equal access to its programs, services, and activities. Sign language interpreters, assisted listening devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability of services please make your request at least 3 business days (72 hours) prior to the meeting by contacting the CSPNC secretary at 310-918-8650.

SERVICIOS DE TRADUCCION — Si requiere servicios de traducción, favor de avisar al Concejo Vecinal 3 días de trabajo (72 horas) antes del evento. Por favor contacte a the CSPNC Secretary, al 310-918-8650 por correo electrónico board@cspnc.org para avisar al Concejo Vecinal.

PROJECT

SHEET INDEX

3401 S. PATTON AVE. SAN PEDRO, CA 90731

SHEET #	TITLE
A0	SHEET INDEX, PROJECT SUMMARY
A0.1	GENERAL NOTES
G1	GREEN FORMS
A1	SITE PLAN
A1.1	PREVAILING SETBACK CALCULATIONS
A2	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A3	ROOF FLOOR PLAN
A4	ELEVATIONS
A4.1	ELEVATIONS
A5	BUILDING SECTIONS
A6	DOOR & WINDOW SCHEDULE
D1	DETAILS
D2	DETAILS
D3	DETAILS
D4	DETAILS
TOPO	TOPOGRAPHIC SURVEY
T-1	TITLE 24
T-2	TITLE 24
T-3	TITLE 24
T-4	TITLE 24
W-0	LID COVER SHEET
W-1	LID SITE PLAN
W-2	LID ROOF PLAN
W-3	LID ELEVATIONS
L-4.1	PLANTING PLANS
L-5.1	IRRIGATION PLAN
L-5.2	HYDROZONE PLAN
L-5.3	LANDSCAPE NOTES
L-5.4	LANDSCAPE DETAILS
L-5.5	LANDSCAPE DETAILS
S-0	STRUCTURAL COVER SHEET
S-0.1	STRUCTURAL NOTES
S-0.2	STRUCTURAL NOTES
S-1.0	FOUNDATION PLAN
S-1.1	FIRST FLOOR CEILING PLAN
S-1.2	SECOND FLOOR CEILING PLAN
S-1.3	ROOF FRAMING PLAN
S-2.0	STRUCTURAL DETAILS
S-2.1	STRUCTURAL DETAILS
S-2.2	STRUCTURAL DETAILS
S-2.3	STRUCTURAL DETAILS
S-2.4	STRUCTURAL DETAILS

LEGAL INFORMATION

Address/Legal
 SITE ADDRESS 3401 S PATTON AVE.
 ZIP CODE 90731
 PIN NUMBER 009B193 768
 LOT/PARCEL AREA 6,442.3 SQ. FT.
 THOMAS BROTHERS GRID PAGE 853 - GRID JJ
 ASSESSOR PARCEL NO. (APN) 7470021021
 TRACT P M 584I
 MAP REFERENCE BK 214-45/46
 BLOCK NONE
 LOT C
 ARB (LOT CUT REFERENCE) NONE
 MAP SHEET 009B193
 JURISDICTIONAL SAN PEDRO
 COMMUNITY PLAN AREA HARBOR
 AREA PLANNING COMMISSION COASTAL SAN PEDRO
 NEIGHBORHOOD COUNCIL CD 15 - JOE BUSCAINO
 COUNCIL DISTRICT 2975.00
 CENSUS TRACT # SAN PEDRO
 LADBS DISTRICT OFFICE RHXL
 ZONING 2F-0" MIN
 FRONT SETBACK (REQUIRED) 78'-11"
 FRONT SETBACK PROVIDED 6'-0" MIN
 SIDE SETBACK REQUIRED 24'-6", 6'-0", 6'-8"
 SIDE SETBACK PROVIDED 15'-0"
 REAR SETBACK REQUIRED 15'-0"
 REAR SETBACK PROVIDED

PROJECT SUMMARY

BUILDING CODE : 2020 CBC, LAMC, 2020 GBC, 2020 IBC
ZONING: RI - IXL
OCCUPANCY: R3 / U
CONSTRUCTION: TYPE VB
SPRINKLERED: YES
LOT COVERAGE: 26.7%
PARKING SPACE PROVIDED : 2 PARKING SPACE
NUMBER OF STORIES (SFD): 2 STORY
HEIGHT OF SFD: 25'-0"
MAX. HEIGHT OF SFD BUILDING: 30'-0" - WITH ROOF SLOPE LESS THAN 25% (LADBS)
 26'-0" - SAN PEDRO SPECIFIC PLAN

RESIDENTIAL "RFA"	SFD	1ST FLOOR AREA: 2ND FLOOR AREA: COVERED PATIO AREA: HSHFT CEILING AREA: GARAGE (380-400)	949.00 SF 369.00 SF 34.00 SF 0 SF 0 SF
		TOTAL FLOOR AREA: STAIRS:	1,352.00 SF 31.00 SF
		MAX ALLOWED RFA: 6,442.3 SF X .45% = 2,899.03	
		TOTAL FLOOR AREA:	1,352.00 SF
BUILDING	SFD	1ST FLOOR AREA: 2ND FLOOR AREA: COVERED PATIO AREA: HSHFT CEILING AREA: STAIRS AREA:	949 SF 369 SF 34 SF 0 SF 31 SF
		TOTAL FLOOR AREA:	1,383.00 SF
		TOTAL FLOOR AREA:	1,383.00 SF
SCHOOL DISTRICT	SFD	1ST FLOOR AREA: 2ND FLOOR AREA:	1008.00 SF 446.00 SF
		GARAGE AREA: COVERED AREA:	407 SF 34 SF
		TOTAL FLOOR AREA:	1,451.00 SF
ZONING	SFD	1ST FLOOR AREA: 2ND FLOOR AREA:	949 SF 369 SF
		TOTAL FLOOR AREA:	1,318 SF
		TOTAL FLOOR AREA:	1,318 SF
FAR		LAMC SECTION 12.21(A) BUILDABLE AREA: 3,447 SQ. FT. X 3 = 10,341 SQ. FT. FOR RA, RE, RS, AND RI ZONED PROPERTIES IN A COASTAL ZONE NOT LOCATED IN A HILLSIDE AREA, AS DEFINED IN SECTION 12.03 OF THIS CODE, THE TOTAL FLOOR AREA CONTAINED IN ALL THE MAIN BUILDINGS ON A LOT SHALL NOT EXCEED THREE TIMES THE BUILDABLE AREA OF THE LOT.	

CONSULTANTS

DESIGNER ——— C—OLIVEIRA DESIGN INC.
 3680 WILSHIRE BLVD, STE
 P04-1341 LOS ANGELES,
 CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

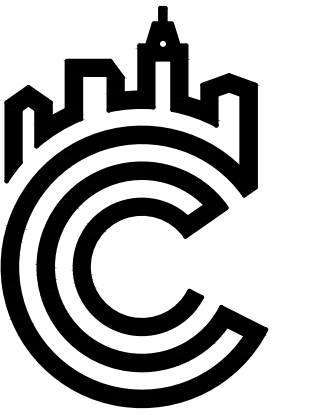
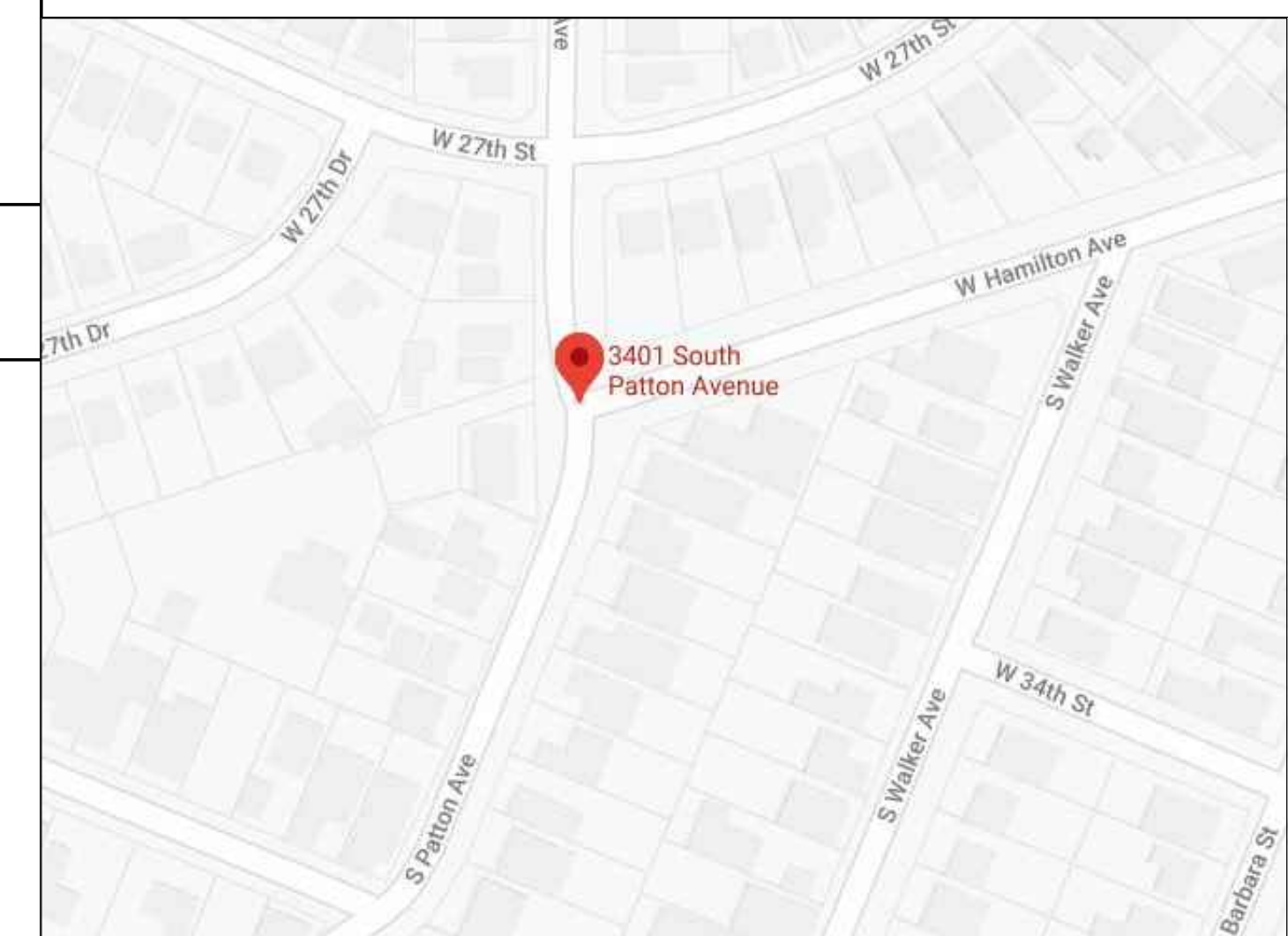
SCOPE OF WORK

PROPOSED NEW 2 STORY BUILDING (SFD), WITH ATTACHED GARAGE AND ROOF DECK
 SFD TO BE FULLY SPRINKLERED. "SPRINKLER NFPA 13D"

OWNER

NINO BISIGNANO
 3401 PATTON AVE
 SAN PEDRO, CA 90731

VICINITY MAP



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

COVER SHEET

DATE: 10/22/2020

SCALE: NTS

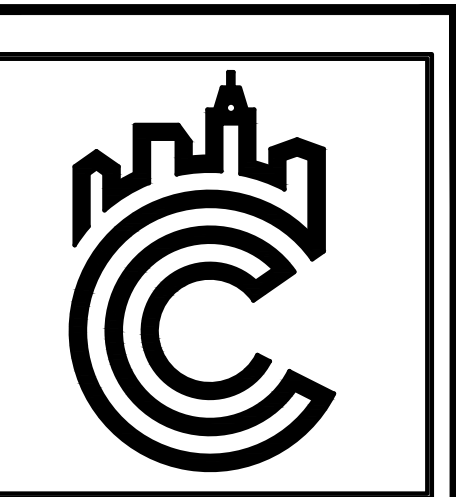
REVISION:		
△		
△		
△		
△		
△		

PROJECT #: 19-133

DRAWN BY: MS

SHEET
A0

PART I	PART II	PART III	PART IV	PART V
<p>H. INTERIOR ENVIRONMENT</p> <p>16. NOTE: Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 footcandles over the area of the room at a height of 30 inches above the floor level. (1205.1 and 1205.3)</p> <p>1. AREA AND OCCUPANCY</p> <p>7. Under-floor ventilation shall be not less than 1/150 of under floor area. (2306)</p> <p>8. Attic ventilation of 1/150 of the area of ventilated space (approximately 10 sq. in. for each 10 sq. ft. of attic area) is required. (1505.3)</p> <p>K. GENERAL REQUIREMENTS</p> <p>19. Show minimum 18' x 24' under floor access opening. 2306.3</p> <p>20. Add note "Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure." (807.1.3, 2406.4(5), 1115B.9.6, 7, 8)</p> <p>21. Provide 32' wide doors to all interior accessible rooms. (6304.1)</p> <p>22. Add note "Water heater must be strapped to wall." (Sec. 507.3, UPC)</p> <p>23. The following are required for attached U-1 occupancy garage / carport:</p> <p>a. Specify materials of one-hour fire-resistive construction on the garage side for walls and, when supporting an upper floor, ceilings, posts and beam of garage. (302.4 and T 3-3)</p> <p>b. Doors to be self closing, 1 3/8" solid wood slab or 20 minute rated door assembly. (302.4)</p> <p>*M. FIRE PROTECTION (LA CITY SPECIFIC)</p> <p>5. "Provide fire sprinklers throughout. The Sprinkler System shall be approved by Plumbing Div. prior to installation." (12.21A17(d), 91.506)</p> <p>7. Smoke detectors shall be provided as follows: (310.9.1.3.4)</p> <p>a. In new construction smoke detectors shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story.</p> <p>b. In existing construction smoke detectors may be battery operated, installed in location as specified in a) above.</p> <p>9. Add note "Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue." (L.A.M.C. 57.20.25)</p> <p>B. VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) (701A.3.2, 7201.2, 7207)</p> <p>1. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72.</p> <p>NOTES:</p> <p>a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)</p> <p>b. Valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (704A.1.3)</p> <p>c. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (704A.1.5)</p> <p>d. (Roof) Attic(Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 -inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (704A.2.1, 704A.3.2.1, 704A.2.2, 7207.3)</p> <p>a. Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (704A.2.3)</p> <p>b. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1)</p> <p>c. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.2)</p> <p>d. Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating-glass units with a minimum of one tempered pane or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-7A-2 (704A.3.2.2)</p> <p>e. Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 1/4 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2074. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (704A.3.2.3)</p> <p>f. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non combustible or other approved materials per Sec.704A.4.1</p> <p>g. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (704A.4.2.1)</p> <p>h. Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (704A.4.2.2, 7207.1)</p> <p>i. All utilities, pipes, furnances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction.(7207.2)</p> <p>j. The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 704A.1.2.</p> <p>k. No trellis is permitted within 10 feet of the primary structure.</p> <p>l. Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2008-023).</p>	<p>BUILDING CODE REQUIREMENTS</p> <p>A. GENERAL REQUIREMENTS</p> <p>NOTES:</p> <p>A-. For residential pool show the pool enclosure on the plan. The top of the barrier shall be at least 60 inches above grade measured on the side of the barrier that faces away from the swimming pool. The max. vertical clearance between grade and the bottom of the barrier shall be two inches measured on the side of the barrier that faces away from the swimming pool. The gate shall open outward away from the pool and shall be self-closing and self-latching. The latch to be minimum 4.5 Ft above the ground. (3109.4.1, 6109.1)</p> <p>B-. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.</p> <p>C-. An approved Selsmic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas plping. (Per Ordinance 170,158) (Includes Commercial additions and TI work over \$10,000.) Separate plumbing permit is required.</p> <p>D-. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).</p> <p>E-. Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54' above the floor. (3109.4.1.8)</p> <p>F-. Suction outlets shall be designed and installed in accordance with ANSI / APSP-7 (3109.5)</p> <p>G-. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.</p> <p>H-. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure.' (1115B.2 and 2406.3(5))</p> <p>I-. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required). 2405.5</p> <p>J-. Water heater must be strapped to wall (Sec. 507.3, UPC)</p> <p>K-. For new pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. Max.) for a single opening. The deactivation switch shall be at least 54' above the floor. P/BC 2008- 014</p> <p>L-. For new pool on site, provide anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977</p> <p>M. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4)</p> <p>N. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2)</p> <p>D. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3)</p> <p>P. Automatic garage door openers, if provided, shall be listed in accordance with UL 325.</p> <p>Q. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)</p> <p>R. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2)</p> <p>S. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)</p> <p>T. A copy of the evaluation report and/or conditions of listing shall be made available at the job site</p> <p>B. OCCUPANCY CLASSIFICATION</p> <p>5. Doors between garage and the dwelling unit shall be self-closing and self-latching, solid wood or solid or honeycomb core steel not less than 1 1/4 inches thick, or have a minimum fire protection rating of 20 minutes. (406.1.4)</p> <p>Garage/ Carports</p> <p>1. The proposed building is a Garage and not a carport since it is not open at least 2 sides.</p> <p>2. Openings from a private garage directly into a room used for sleeping purposes are not permitted (R302.5.1).</p> <p>3. Doors between garage and the dwelling unit shall be self-closing and self-latching, solid wood or solid or honeycomb core steel not less than 1 3/8 inches thick, or have a minimum fire protection rating of 20 minutes. (R302.5.1)</p> <p>4. The garage shall be separated from the dwelling and its attic area in accordance with Table R302.6 (R302.6).</p> <p>5. Ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and there shall be no openings from the ducts into the garage (R302.5.2).</p> <p>6. Other penetrations of garage/dwelling ceilings and walls are to be protected as required by Section R302.11, Item 4 (R302.5.3).</p>	<p>1. Garage floor surfaces shall be of an approved noncombustible material, and the area used to park vehicles shall be sloped to a drain or toward the main vehicle entry (R309.1).</p> <p>C. BUILDING HEIGHT LIMITATION</p> <p>1. Provide calculations for establishing grade plane as per Section R201. Attach calculations and identify established grade planes on elevations plans and site plan. (R201)</p> <p>2. Show maximum height of the structure (in feet and stories) from Average height of highest roof surface to grade plane on all elevation views.(R201)</p> <p>3. Lowest level is determined not to be a basement. This level is considered as 1st story above grade plane. Include this story in total building height. (R201)</p> <p>E. FIRE-RESISTANCE RATED CONSTRUCTION</p> <p>11. Provide 1-hr fire-resistance exterior walls if fire separation distance is:</p> <p>Less than 5 [T- R302.1 (1)] , or</p> <p>Less than 3 if the building is equipped throughout with an automatic residential fire sprinkler system installed in accordance with section R313. [T- R302.1 (2)]</p> <p>11. Provide 1-hr fire-resistance exterior walls for R3/U occupancy less than 5' from property line or assumed property line (T602). Provide complete details per Section 704.5</p> <p>2. Show how 1- hr fire- resistance is being provided.</p> <p>3. Openings are not allowed within 3 / 5' fire separation distance. [T-R302.1(1) & T- R302.1(2)]</p> <p>4. Maximum 25% opening area are allowed when the fire separation distance is >3' and ≤ 5': (T-302.1(1))</p> <p>5. Projections beyond the exterior wall shall comply with Table R302.1 and shall not extend:</p> <p>a. To a point closer than 2 feet from interior lot line.</p> <p>b. More than 4 inches at the roof eave for detached garages accessory to a dwelling when located within 2 feet of a lot line.</p> <p>c. Over the lot line for accessory structures that are exempt from permits.</p> <p>6. In combustible construction, fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. (R302.11)</p> <p>1. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. (R302.12)</p> <p>2. Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2. Provide detail and copy of listing on the plans.(R302.4.1)</p> <p>3. Membrane penetrations shall comply with Section R302.4.1. Where walls are required to have a fire-resistance rating, recessed fixtures shall be installed so that the required fire-resistance rating will not be reduced. (R302.4.2)</p> <p>F. FIRE PROTECTION</p> <p>1. The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.21A17(d))</p> <p>2. The Sprinkler System shall be approved by Plumbing Div. prior to installation.</p> <p>3. An approved smoke alarms shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that activation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)</p> <p>4. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)</p> <p>G. MEANS OF EGRESS</p> <p>1. Provide emergency egress from sleeping rooms. Show details on plans. Min.- 24" clear ht, 20" clear width, 5.7 sq.ft min area (5.0 sq ft at grade level) & 44" max to sill. (R310.1)</p> <p>2. Provide minimum 9 sq.ft. window wells (with fixed ladder) at escape and rescue opening windows below grade. (R310.2)</p> <p>3. At least one door shall be 36" wide by 80" high (R311.2)</p> <p>4. Provide 32" wide doors to all interior accessible rooms. (6304.1)</p> <p>5. The entry/exit door must open over a landing not more than 1.5' below the threshold. Exception: Providing the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R311.3.1)</p> <p>6. Landing at a door shall have a length measured in the direction of travel of no less than 36". (R311.3)</p> <p>7. A landing shall be provided at the top and bottom of stairways. Exception for top of an interior flight of stairs and stairs in an enclosed garage (R311.7.5).</p> <p>8. Stairway details:</p> <p>a.7.75" rise & min. 10" run. (R311.7.4)</p> <p>b.Min. 6'-8" headroom clearance. (R311.7.2)</p> <p>c.Min. (36") clear width. (R311.7.1)</p> <p>d.Handrails 34" to 38" high above tread nosing (R311.7.7.1)</p> <p>e.Handgrip portion of handrail shall not be less than 1.25" and no more than 2" crosssectional dimension having a smooth surface with no sharp corners. (R311.7.7.3)</p>	<p>f.Max 4" clear spacing opening between rails. (R312.3)</p> <p>1. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2 inch gypsum board. (R302.7)</p> <p>2. All interior and exterior stairways shall be illuminated (R303.6).</p> <p>3. Winder treads shall comply with Section R311.7.3.</p> <p>4. Spiral stairs shall comply with Section R311.7.9.1.</p> <p>5. Ramp slopes shall not exceed 1:12 (8%).(R311.7.3)</p> <p>6. Provide 42" high guards with max 4" clear spacing opening between rails at (_____) (R312).</p> <p>7. For glass handrails and guards, the panels and their support system shall be designed to withstand the loads specified in Chapter 16. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (2407)</p> <p>A. INTERIOR ENVIRONMENT</p> <p>1. The minimum ceiling height for habitable space, hallways, bathrooms, toilet rooms, laundry rooms and portions of basements containing these spaces shall be not less than 7 feet (R305.1).</p> <p>2. Under-floor ventilation shall be not less than 1/150 of under floor area. (R408.1)</p> <p>3. Show minimum 18" x 24" under floor access opening. (R408.4)</p> <p>4. Attic ventilation of 1/150 of the area of ventilated space (approximately 10 sq. in. for each 10 sq. ft. of attic area) is required.(R806.2)</p> <p>5. Attic area having a clear headroom of 30" must have an access opening (20" x 30" min). (R807.1)</p> <p>6. Provide 15" min. between the center of water closet to any side wall. (Calif. Plumb. Code 407.6)</p> <p>7. Provide 24" clear space in front of any water closet. (Calif. Plumb. Code 407.6)</p> <p>8. Bathrooms, water closet compartments and other similar rooms shall be provided natural and mechanical ventilation capable of 50 cfm exhausted directly to the outside (R303.3)</p> <p>9. Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. (R303.8)</p> <p>ZONING:</p> <p>27. For new construction, addition or major remodel to any One-Family Dwelling or Accessory Building on a lot in R1, RS, RE, or RA Zones and designated Hillside Area (12.21C.10.):</p> <p>a. Setbacks:</p> <p>1) All portions of required front yard not used for necessary driveways and walkways, including decorative walkways shall be used for planting and shall not be paved. (12.21C10(a)(5))</p> <p>2) On lots fronting a Substandard Hillside Limited Street, open unenclosed stairways, porches, platforms and landing places not covered by a roof or canopy shall not project or extend into the front yard. (12.21C10(a)(10)(ii))</p> <p>1. BUILDING ENVELOPE</p> <p>1. Provide a class A, B or C fire-retardant roof covering per Section R902.1.</p> <p>2. Every dwelling unit shall be provided with a water closet, lavatory, bathtub or shower, and kitchen (R306.1 and R306.2).</p> <p>3. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):</p> <p>a. Fixed and operable panels of swinging, sliding and bifold door assemblies.</p> <p>b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.</p> <p>c. Glazing in an individual fixed or operable panel that meets all of the following conditions:</p> <p>1) Exposed area of an individual pane greater than 9 square feet.</p> <p>2) Bottom edge less than 18 inches above the floor.</p> <p>3) Top edge greater than 36 inches above the floor.</p> <p>4) One or more walking surfaces within 36 inches horizontally of the glazing.</p> <p>d. Glazing in railings.</p> <p>e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.</p> <p>f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.</p> <p>g. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.</p> <p>h. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.</p> <p>9. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (R401.3)</p> <p>6. Dampproofing, where required, shall be installed with materials and as required in Section R406.1.</p> <p>7. Vehicular access doors shall comply with Section R612.7.</p> <p>8. Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319)</p> <p>9. Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.</p>	<p>J. Mansionization Ordinance</p> <p>1. If the ceiling height exceeds 14 ft, provide floor plans and clearly identify the areas which exceed the above thresholds (with hatching and dimension). The subject areas shall be included in the floor area calculations, except the first 100 sf of the ceiling over 14' need not be included.</p> <p>2. Covered parking areas shall be included in the floor area, except the first 400 sf.</p> <p>3. Attached porches, patios, and breezeways with solid roof shall be included in floor area calculations, except the first 250 s.f., when open at least two sides.</p>



DESIGN:
C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
SAN PEDRO, CA 90731

GENERAL NOTES

DATE: 10/22/2020

SCALE: NTS

REVISION:	
△	
△	
△	
△	
△	

PROJECT #: 19-133

DRAWN BY: MS

SHEET
A0.1

STORM WATER POLLUTION CONTROL
(2020 Los Angeles Green Building Code)

FORM
GRN 1

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- 1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code

FORM
GRN 4

MANDATORY REQUIREMENTS CHECKLIST
NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Permit # 20010 - 30000 - 02244 Date:

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENTS, REFERENCE SHEET (Sheet # or N/A), COMMENTS (e.g. note #, detail # or reason for N/A). Rows include Planning and Design, Energy Efficiency, Water Efficiency & Conservation, and Material Conservation & Resource Efficiency.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code

FORM
GRN 4

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENTS, REFERENCE SHEET (Sheet # or N/A), COMMENTS (e.g. note #, detail # or reason for N/A). Rows include Material protection, Construction waste reduction, Operation and maintenance manual, Environmental Quality, Fireplaces and woodstoves, Covering of duct openings and protection of mechanical equipment during construction, Finish material pollutant control, Adhesives, sealants, caulks, Paints and coatings, Aerosol paints and coatings, Verification, Carpet systems, Carpet cushion, Resilient flooring systems, Composite wood products, Filters, Capillary break, Moisture content of building materials, Bathroom exhaust fans, Heating and air-conditioning system design.

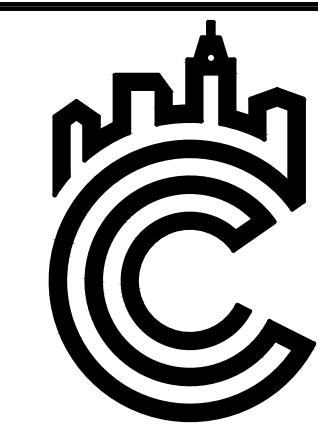
As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

VOC AND FORMALDEHYDE LIMITS
2020 Los Angeles Green Building Code
(incorporate this form into the plans)

FORM
GRN 11

Table with 3 columns: VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS 2.3, FORMALDEHYDE LIMITS, and Less Water and Less Exempt Compounds in Grams per Liter. Includes sub-tables for VOC Content Limits, Adhesive VOC Limit 1.2, and Specialty Applications.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



C-OLIVEIRA DESIGN
3680 WILSHIRE BLVD, STE P04-1341
LOS ANGELES, CA 90010
415-793-9492
CAMILLA.ODESIGN@GMAIL.COM
www.coliveiradesign.com

3401 S. PATTON AVE.
SAN PEDRO, CA 90731

GREEN FORMS

DATE: 10/22/2020

SCALE: NTS

REVISION:

Table with 2 columns: Revision number and description.

PROJECT #: 19-133

DRAWN BY: MS

SHEET

G1

2020 Los Angeles Green Building Code GRN 14
GREEN BUILDING CODE PLAN CHECK NOTES
RESIDENTIAL BUILDINGS

FORM

- 1. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces. NSF/ANSI 140 at the Gold level.
2. For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated ampere of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces. NSF/ANSI 140 at the Gold level.
3. Roofs with slopes < 2:12 shall have a 3-year aged SRI value of at least 0.75 or both a 3-year aged solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an aged SRI value of at least 0.75, a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75.
4. The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM C1549.
5. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1.
6. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time.
7. Installed automatic irrigation system controllers shall be weather- or soil-based controllers.
8. For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval.
9. Annular spaces around pipes, electric cables, conduits, or other openings in a building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code.
10. Materials delivered to the construction site shall be protected from rain or other sources of moisture.
11. Only a City of Los Angeles permitted hauler will be used for hauling of construction waste.
12. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in handbooks and have their equipment tested in accordance with ANSI/ACCA the building at the time of final inspection.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

PLUMBING FIXTURE FLOW RATES
Residential Occupancies
2020 Los Angeles Green Building Code
(incorporate this form into the plans)

FORM
GRN 16

SECTION 4.303.1
WATER REDUCTION FIXTURE FLOW RATES

Table with 2 columns: FIXTURE TYPE, MAXIMUM ALLOWABLE FLOW RATE. Rows include Showerheads, Lavatory faucets (residential/nonresidential), Kitchen faucets, Metering Faucets, Gravity tank type water closets, Flushometer tank water closets, Flushometer valve water closets, Urinals, Clothes Washers, Dishwashers ENERGY-STAR certified.

- 1 Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20psi.
2 Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.
3 Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
4 Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.
5 Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.
Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2.
6 Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered.
7 Except as provided in this section, for sites with over 500 square feet of landscape area, alternate water piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system(4.305.1)
8 Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code GRN 18R
WATER CONSERVATION NOTES - ORDINANCE #184248
RESIDENTIAL BUILDINGS

FORM

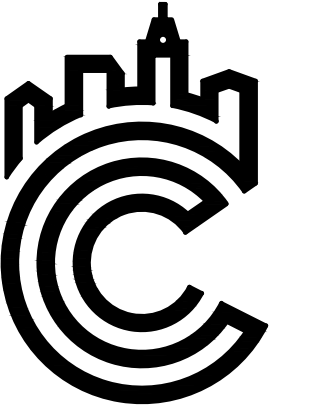
PLUMBING SYSTEM

- 1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)
2. Water use reduction shall be met by complying with one of the following:
A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or
B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or
C. Plumbing fixtures shall use recycled water. Exception: Fixture replacements (4.303.4)
3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)
5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose bibs. (4.304.4)
6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)
7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate water piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system(4.305.1)
8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)
9. In new buildings of 25 stories or less, the cooling towers shall comply with one of the following:
A. Shall have a minimum of 6 cycles of concentration (blowdown); or
B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)
10. In new buildings over 25 stories, the cooling towers shall comply with all of the following:
A. Shall have a minimum of 6 cycles of concentration (blowdown); and
B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.2)
11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)
12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1):
A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.
B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons.
C. Residential units having individual water heaters shall have a compact hot water system that meets all of the following:
a. The hot water supply piping from the water heater to the fixtures shall take the most direct path.
b. The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.
c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.

IRRIGATION SYSTEM

- 12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public utility. (4.304.1)

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

SITE PLAN

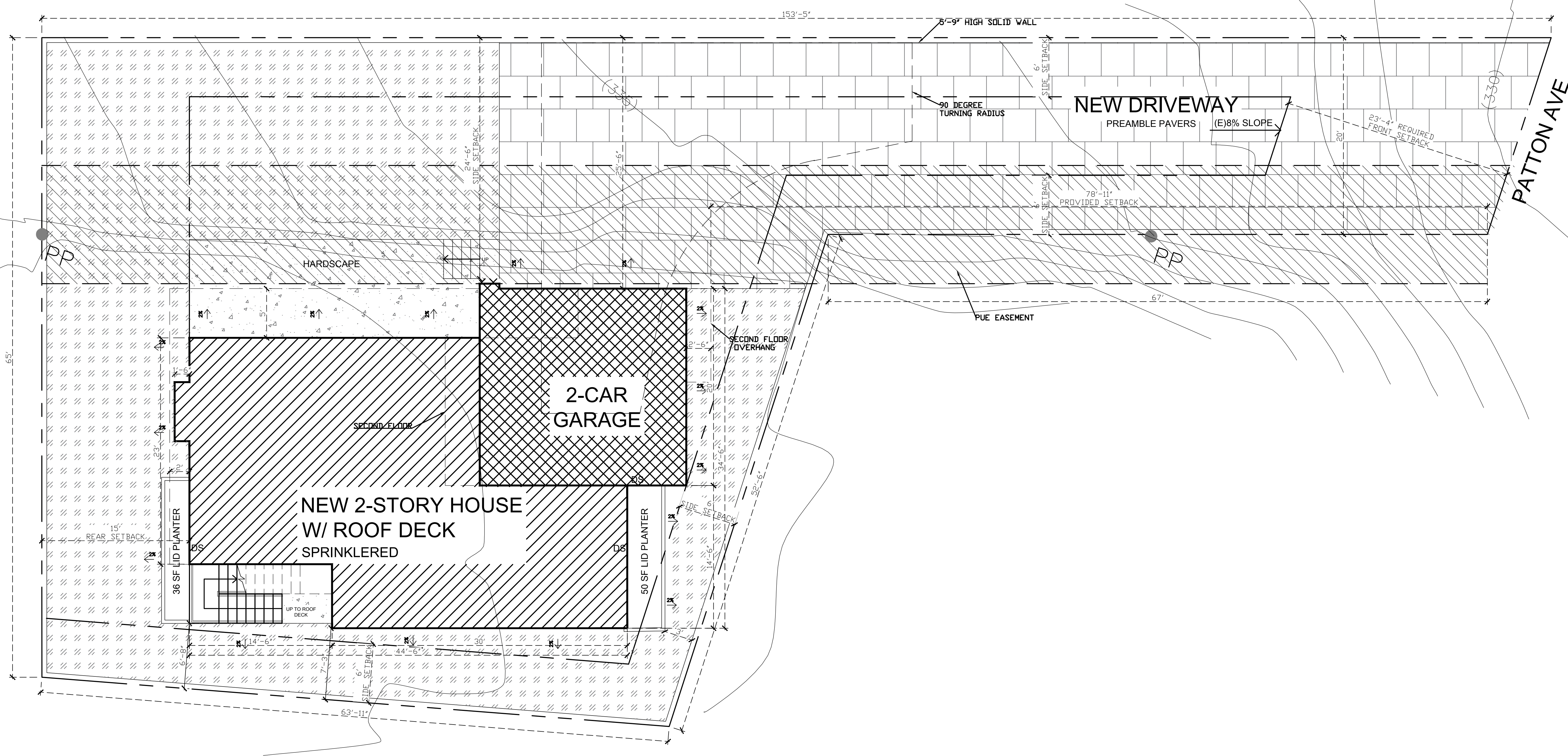
DATE: 10/22/2020
 SCALE: 3/16" = 1'-0"

REVISION:		
△		
△		
△		
△		

PROJECT #: 19-133

DRAWN BY: MS

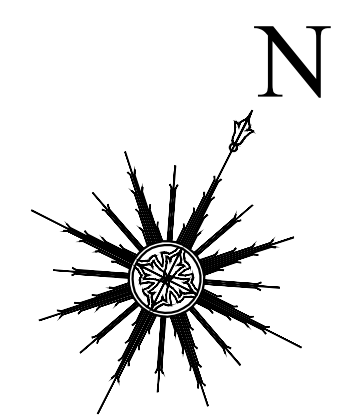
SHEET
A1



LEGEND:
 → 2% SLOPE AWAY FROM BUILDING

SITE PLAN

3/16" = 1'-0"



- 1- An approved seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
- 2- Provide low consumption water closets for all new construction. Existing shower heads and toilets must be adapted for low water.
- 3- All concentrated drainage including roof water shall be consucted to the street at 2%.

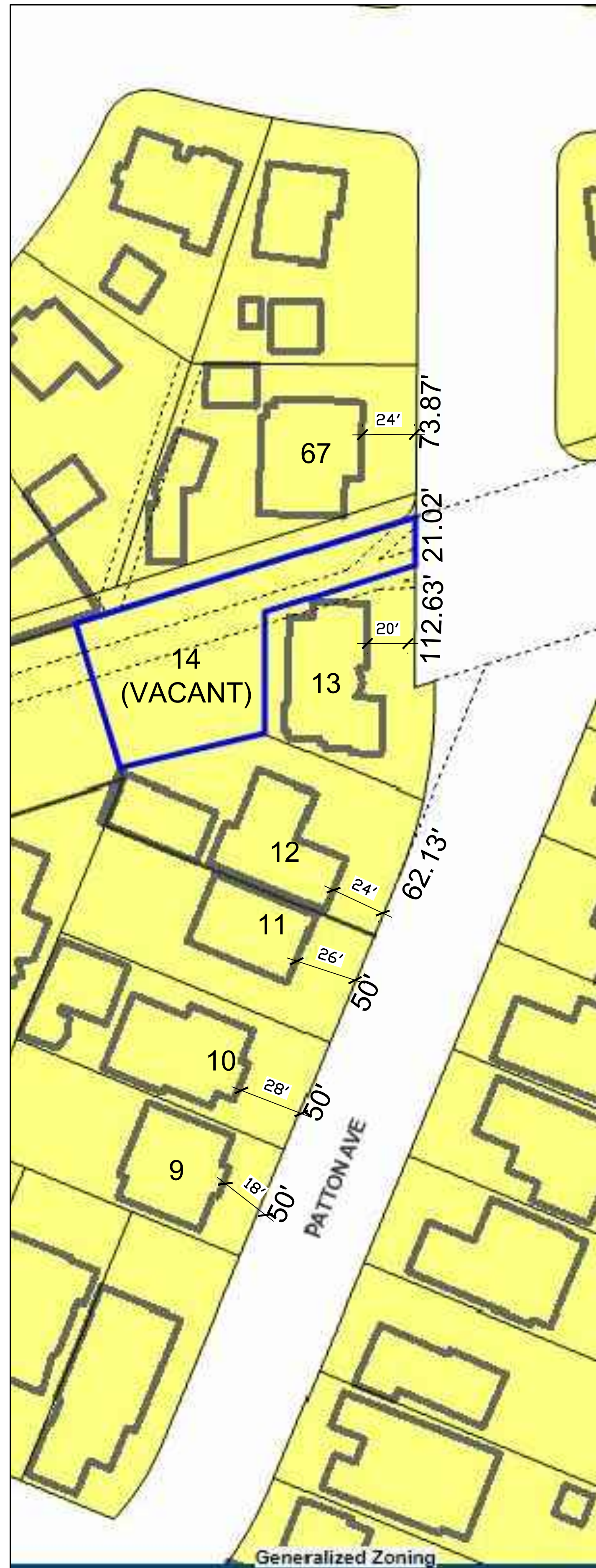
- 4- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays.
- 5- Construction waste shall be reduced by 50% containers for the waste and recycled material must be provided on site and contractor to verify that waste and recycled material will be separated and removed by the city of Los Angeles certified hauler

- 6- materials delivered to the construction site shall be protected from rain other sources of moisture
- 7- Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet. (R401.3).
- 8- Hardscape material with an initial solar reflectance of at least 0.30 (4.106.7)

HARDSCAPE CALCULATIONS:

DRIVEWAY =2,160.00 SQ. FT.
 HARDSCAPE =390 SQ. FT.

TOTAL CONCRETE = 2,550 SQ. FT.
 25% OF HARDSCAPE (2,550 SQ. FT.) = 637.5 SQ. FT. REQUIRED TO COMPLY PROVIDED: 2,160 SQ. FT.
 2,160 SQ. FT. > 637.5 SQ. FT. = OK



Add Lot

Enter the Lot information after adding rows:

Lot	Frontage (ft)	Setback (ft)	
9	50	18	×
10	50	28	×
11	50	26	×
12	62.13	24	×
13	112.63	20	×
14	21.02	0	×
67	73.87	24	×

Clear

Calculate

Results

Number of lots: 7

Prevailing Setback: 23.33 ft

Calculation

Total no of lots entered: 7

Total frontage entered: **419.65 ft**

40% from total frontage entered: **167.86 ft**

No of lots used in the calculation: **6**

Setback range used: **18.00 ft - 28.00 ft**

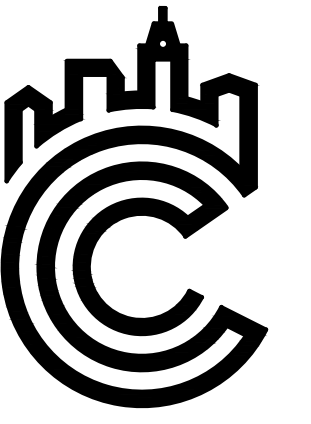
Total frontage used in the calculation: **398.63 ft**

Lots Used

Lot	Frontage (ft)	Setback (ft)
9	50.00	18.00
10	50.00	28.00
11	50.00	26.00
12	62.13	24.00
13	112.63	20.00
67	73.87	24.00

View Calculation Details

PREVAILING SETBACK: 23.33'
 PROVIDED SETBACK: 78'-11"



DESIGN:
 C-OLIVEIRA DESIGN
 3880 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

PREVAILING
 SETBACK
 CALCULATIONS

DATE: 10/22/2020

SCALE: 3/16" = 1'-0"

REVISION:	
△	
△	
△	
△	
△	

PROJECT #: 19-133

DRAWN BY: MS

SHEET
A1.1



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD., STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

FIRST FLOOR
 PLAN

DATE: 10/22/2020

SCALE: 1/4" = 1'-0"

REVISION:

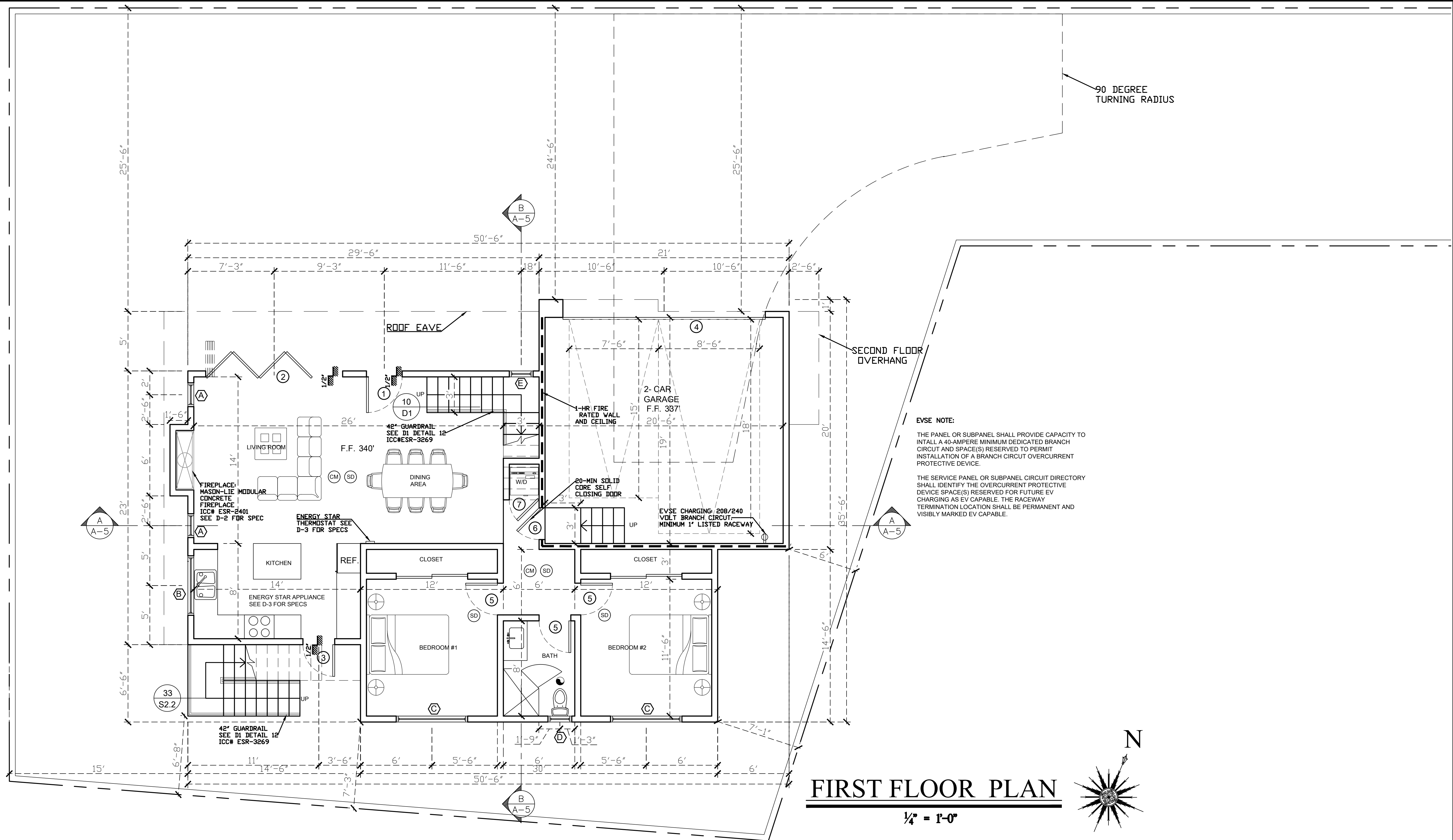
1	
2	
3	
4	
5	

PROJECT #: 19-133

DRAWN BY: MS

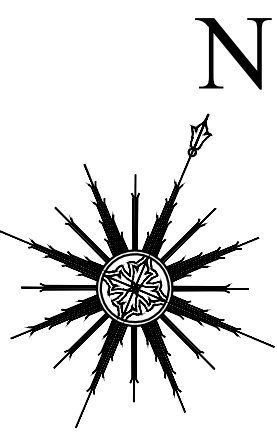
SHEET

A2



FIRST FLOOR PLAN

1/4" = 1'-0"



- LEGEND:**
- 1-HR FIRE RATED WALL
 - NEW WALL

- SMOKE DETECTOR/HARDWIRED WITH BATTER BACK UP AND LOW BATTERY SIGNAL
- CARBON MONOXIDE ALARM HARDWIRED W BATTERY BACK-UP
- BATH EXHAUST FAN W/LIGHT SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 50 CFM FANS NOT TO FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY

- FIRE PROTECTION**
1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
 2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
 3. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
 4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

- MEANS OF EGRESS**
4. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. SHOW DETAILS ON PLANS. MIN.- 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ.FT MIN AREA (5.0 SQ FT AT GRADE LEVEL) & 44" MAX TO SILL. (R310.1)
 6. AT LEAST ONE DOOR SHALL BE 36 WIDE BY 80 HIGH (R311.2)
 7. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)
 16. RAMP SLOPES SHALL NOT EXCEED 1:12 (8%).(R311.7.3)
 17. PROVIDE 42" HIGH GUARDS WITH MAX 4" CLEAR SPACING OPENING BETWEEN RAILS AT (R312).
- INTERIOR ENVIRONMENT**
4. THE MINIMUM CEILING HEIGHT FOR HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL BE NOT LESS THAN 7 FEET (R305.1).

5. PROVIDE A DOOR AND WINDOW SCHEDULE. SHOW TYPE AND SIZE OF EACH.
 6. PROVIDE NATURAL LIGHT IN (HABITABLE ROOMS).
 13. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
- BUILDING ENVELOPE**
1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1.
 2. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN (R306.1 AND R306.2).
 3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
 A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD ASSEMBLIES

- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.**
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:**
- 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- D. GLAZING IN RAILINGS.**
- E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.**

- F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.**
- G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.**
- H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.**
- 4. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.**

- 9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.**
- 10. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)**

EVSE NOTE:

THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

DIVISION: 06 00 00—WOOD, PLASTICS AND COMPOSITES
SECTION: 06 53 00—PLASTIC DECKING

REPORT HOLDER:
AZEK BUILDING PRODUCTS, INC.

EVALUATION SUBJECT:
AZEK DECKING SYSTEM

ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or to any product covered by the report.

Copyright © 2018 ICC Evaluation Service, LLC. All rights reserved.

3.0 DESCRIPTION
3.1 General:
 The AZEK Decking Systems are available in uncapped, semi-capped and fully-capped boards.

3.1.1 Uncapped Deck Boards (Harvest Collection):
 The uncapped deck boards are produced in a mono extruded process from a solid composite material consisting of cellular vinyl and aggregate and is available under the Harvest Collection. The uncapped boards are manufactured in profiles of nominally 1/2-inch-thick-by-3/4-inch-wide, 1/2-inch-thick-by-3/4-inch-wide tongue-and-groove porch board and 3/4-inch-thick-by-6-inch-wide. The uncapped deck boards are available in 12-, 16-, or 20-foot (3.7, 4.9 and 6.1 m) lengths except for the porch boards which are available in 10-, 12- or 16-foot (3.0, 3.7 or 4.9 m) lengths. The uncapped decking is manufactured in five colors: white, slate, brownstone, clay and ivory. See Figure 1.

3.1.2 Semi-capped and Fully-capped Deck Boards (Arbor Collection, Terra Collection and Harvest Collection):
 The semi-capped and fully-capped deck boards are produced in a mono extruded process from cellular vinyl and a mineral additive and are available in the Arbor Collection, Terra Collection and Harvest Collection. The capped boards are manufactured in 1-inch-thick-by-5/8-inch-wide (25.4 mm by 16.0 mm) boards with a 0.08-inch-thick cap (0.5 mm) covering the top and a 0.01-inch-thick cap (0.25 mm) covering the sides of the semi-capped board and additionally covering the bottom with a 0.01-inch-thick cap (0.25 mm) on the fully-capped deck board. The semi-capped and fully-capped deck boards are available in 12-, 16- or 20-foot (3.7, 4.9 and 6.1 m) lengths. The Arbor Collection is manufactured in five colors: Cobble, Morado, Redland Rose and Silver Oak. The Terra Collection is manufactured in four colors: Fawn, Kona, and Ivory.

3.2 Durability:
 When subjected to weathering, insect attack and other degrading elements, the material used to manufacture the AZEK Decking Systems are equivalent in durability to preservative-treated or naturally durable lumber when used in locations described in Section 2.0 of this report. The AZEK Decking Systems have been evaluated for structural capacity when exposed to temperatures between -20°F (-29°C) and 125°F (52°C).

3.3 Surface-burning Characteristics:
 When tested in accordance with ASTM E84, the AZEK Decking Systems have a flame-spread index of no greater than 200.

4.0 DESIGN AND INSTALLATION
4.1 General:
 Installation of AZEK decking must comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions must be available at the jobsite at all times during installation. When instructions contained in the manufacturer's published installation instructions differ from this report, this report governs.

4.2 Deck Boards:
4.2.1 Structural: The AZEK deck boards have allowable capacity when installed at a maximum center-to-center spacing of the supporting construction as prescribed in Table 1.
4.2.2 Installation: The AZEK deck boards must be installed perpendicular to the supporting construction. The AZEK deck boards that are installed end-to-end must be tight-fitted together when installed at temperatures above 32°F (0°C), and have a 1/8-inch gap (1.6 mm) when installed below 32°F (0°C). The end of each deck board must be supported by a joist. Where decking butt joints occur, double joists must be provided, and/or two screws must be installed a minimum of 1/4 inch (6.3 mm) and a maximum of 1/2 inch (12.7 mm) from ends of each abutted board.

4.2.3 Deck Boards Used as Stair Treads: The AZEK deck boards, when used as stair treads, are satisfactory to resist the code-prescribed concentrated load of 300 lbf (1.33 kN) when installed at a maximum, perpendicular, center-to-center spacing of the supporting construction as given in Table 2. See footnotes to Table 2 and Figure 2 for additional supports required under the deck boards.

4.2.4 Fasteners: The AZEK deck boards must be fastened with two No. 7 by 2 1/4-inch-long (57.2 mm) stainless steel screws at each supporting wood member having a minimum specific gravity of 0.50; as an alternate, the fastening systems listed in Table 3 may be used. The minimum edge and end distance for fasteners is 1/4 inch (6.3 mm) to 1/2 inch (12.7 mm) from any end of deck board.

5.0 CONDITIONS OF USE
 The AZEK deck boards described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 This product is limited to exterior use as deck boards for balconies, porches, decks, stair treads and similar appendages of buildings of Type V-B (IBC) construction and buildings constructed in accordance with the IRC.

5.2 Installation must comply with this report, the manufacturer's published instructions and the applicable codes. Only those fasteners and fastener configurations described in this report have been evaluated for the installation of the AZEK deck boards.

5.3 The use of the deck boards as components of a fire-resistance-rated assembly is outside the scope of this report.

5.4 The compatibility of the fasteners with the supporting construction, including chemically treated wood, is outside the scope of this report.

5.5 Deck boards must be directly fastened to supporting construction. Where required by the code official, engineering calculations and construction documents consistent with this report must be submitted for approval. The calculations must verify that the supporting construction complies with the applicable building code requirements and is adequate to resist the loads imparted upon it from the products and systems described in this report. The documents must contain details of the attachment to the supporting structure consistent with the requirements of this report. The documents must be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.

5.6 Adjustment factors outlined in the AF&PA National Design Standard (NDS) and applicable codes do not apply to the allowable capacity and maximum spans for the AZEK Decking System.

5.7 The AZEK uncapped deck boards have not been evaluated for use in areas subject to Formosan termite attack.

5.8 The AZEK Decking System is produced in Foley, Alabama, and Scranton, Pennsylvania, under a quality control program with inspections by ICC-ES.

6.0 EVIDENCE SUBMITTED
 Data in accordance with applicable portions of the ICC-ES Acceptance Criteria for Deck Board Span Ratings and Guardrail Systems (Guards and Handrails) (AC174), dated January 2012.

7.0 IDENTIFICATION
7.1 The deck boards described in this report are identified by a label, on each individual piece or on the packaging, bearing the AZEK Building Products name, the AZEK Decking System name, the span rating of the deck board, the allowable span of the deck board when used as a stair tread, and the evaluation report number (ESR-1667).

7.2 The report holder's contact information is the following:
AZEK BUILDING PRODUCTS, INC.
 801 COREY STREET
 SCRANTON, PENNSYLVANIA 18505
 (570) 558-8000
 www.azek.com

ESR-1667 | Most Widely Accepted and Trusted Page 2 of 6

Sedona and Tahoe. The semi-capped and fully-capped Harvest Collection boards are manufactured in the colors, Brownstone, Clay, and Slate Gray. The semi-capped Harvest Collection boards are also available in the color Modena. See Figure 1.

The Azek Porch Board is available as a semi-capped or fully-capped tongue-and-groove deck board. It is produced in a coextruded process from cellular vinyl and a mineral additive. The Porch Board is manufactured in five colors (Oyster™, Morado™, Silver Oak™, Slate Gray and Brownstone™). The board measures 1-inch thick by 3/4-inch wide (25.4 mm by 19.0 mm). See Figure 1.

3.2 Durability:
 When subjected to weathering, insect attack and other degrading elements, the material used to manufacture the AZEK Decking Systems are equivalent in durability to preservative-treated or naturally durable lumber when used in locations described in Section 2.0 of this report. The AZEK Decking Systems have been evaluated for structural capacity when exposed to temperatures between -20°F (-29°C) and 125°F (52°C).

3.3 Surface-burning Characteristics:
 When tested in accordance with ASTM E84, the AZEK Decking Systems have a flame-spread index of no greater than 200.

4.0 DESIGN AND INSTALLATION
4.1 General:
 Installation of AZEK decking must comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions must be available at the jobsite at all times during installation. When instructions contained in the manufacturer's published installation instructions differ from this report, this report governs.

4.2 Deck Boards:
4.2.1 Structural: The AZEK deck boards have allowable capacity when installed at a maximum center-to-center spacing of the supporting construction as prescribed in Table 1.
4.2.2 Installation: The AZEK deck boards must be installed perpendicular to the supporting construction. The AZEK deck boards that are installed end-to-end must be tight-fitted together when installed at temperatures above 32°F (0°C), and have a 1/8-inch gap (1.6 mm) when installed below 32°F (0°C). The end of each deck board must be supported by a joist. Where decking butt joints occur, double joists must be provided, and/or two screws must be installed a minimum of 1/4 inch (6.3 mm) and a maximum of 1/2 inch (12.7 mm) from ends of each abutted board.

4.2.3 Deck Boards Used as Stair Treads: The AZEK deck boards, when used as stair treads, are satisfactory to resist the code-prescribed concentrated load of 300 lbf (1.33 kN) when installed at a maximum, perpendicular, center-to-center spacing of the supporting construction as given in Table 2. See footnotes to Table 2 and Figure 2 for additional supports required under the deck boards.

4.2.4 Fasteners: The AZEK deck boards must be fastened with two No. 7 by 2 1/4-inch-long (57.2 mm) stainless steel screws at each supporting wood member having a minimum specific gravity of 0.50; as an alternate, the fastening systems listed in Table 3 may be used. The minimum edge and end distance for fasteners is 1/4 inch (6.3 mm) to 1/2 inch (12.7 mm) from any end of deck board.

5.0 CONDITIONS OF USE
 The AZEK deck boards described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 This product is limited to exterior use as deck boards for balconies, porches, decks, stair treads and similar appendages of buildings of Type V-B (IBC) construction and buildings constructed in accordance with the IRC.

5.2 Installation must comply with this report, the manufacturer's published instructions and the applicable codes. Only those fasteners and fastener configurations described in this report have been evaluated for the installation of the AZEK deck boards.

5.3 The use of the deck boards as components of a fire-resistance-rated assembly is outside the scope of this report.

5.4 The compatibility of the fasteners with the supporting construction, including chemically treated wood, is outside the scope of this report.

5.5 Deck boards must be directly fastened to supporting construction. Where required by the code official, engineering calculations and construction documents consistent with this report must be submitted for approval. The calculations must verify that the supporting construction complies with the applicable building code requirements and is adequate to resist the loads imparted upon it from the products and systems described in this report. The documents must contain details of the attachment to the supporting structure consistent with the requirements of this report. The documents must be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.

5.6 Adjustment factors outlined in the AF&PA National Design Standard (NDS) and applicable codes do not apply to the allowable capacity and maximum spans for the AZEK Decking System.

5.7 The AZEK uncapped deck boards have not been evaluated for use in areas subject to Formosan termite attack.

5.8 The AZEK Decking System is produced in Foley, Alabama, and Scranton, Pennsylvania, under a quality control program with inspections by ICC-ES.

6.0 EVIDENCE SUBMITTED
 Data in accordance with applicable portions of the ICC-ES Acceptance Criteria for Deck Board Span Ratings and Guardrail Systems (Guards and Handrails) (AC174), dated January 2012.

7.0 IDENTIFICATION
7.1 The deck boards described in this report are identified by a label, on each individual piece or on the packaging, bearing the AZEK Building Products name, the AZEK Decking System name, the span rating of the deck board, the allowable span of the deck board when used as a stair tread, and the evaluation report number (ESR-1667).

7.2 The report holder's contact information is the following:
AZEK BUILDING PRODUCTS, INC.
 801 COREY STREET
 SCRANTON, PENNSYLVANIA 18505
 (570) 558-8000
 www.azek.com

ESR-1667 | Most Widely Accepted and Trusted Page 3 of 6

TABLE 1—DECK BOARD SPAN RATINGS

DECK BOARD	BRAND NAMES	MAXIMUM SPAN ¹ (inches)	ALLOWABLE CAPACITY ² (lb/ft)
1/2-inch-thick-by-6-inch uncapped deck board	Harvest Collection	16	100
1/2-inch-thick-by-3/4-inch uncapped deck board	Harvest Collection	16	100
3/4-inch-thick-by-3/4-inch tongue-and-groove uncapped porch board	Harvest Collection	16	100
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck board	Harvest Collection, Arbor Collection and Terra Collection	16	100
1-inch-thick-by-3/4-inch tongue-and-groove semi-capped porch board	AZEK	16	100

For 8: 1 inch = 25.4 mm; 1 in/ft² = 47.9 Pa.
¹Maximum span is measured center-to-center of the supporting construction.
²Maximum allowable capacity is adjusted for durability. No further increase is permitted.

TABLE 2—MAXIMUM STAIR TREAD SPANS¹

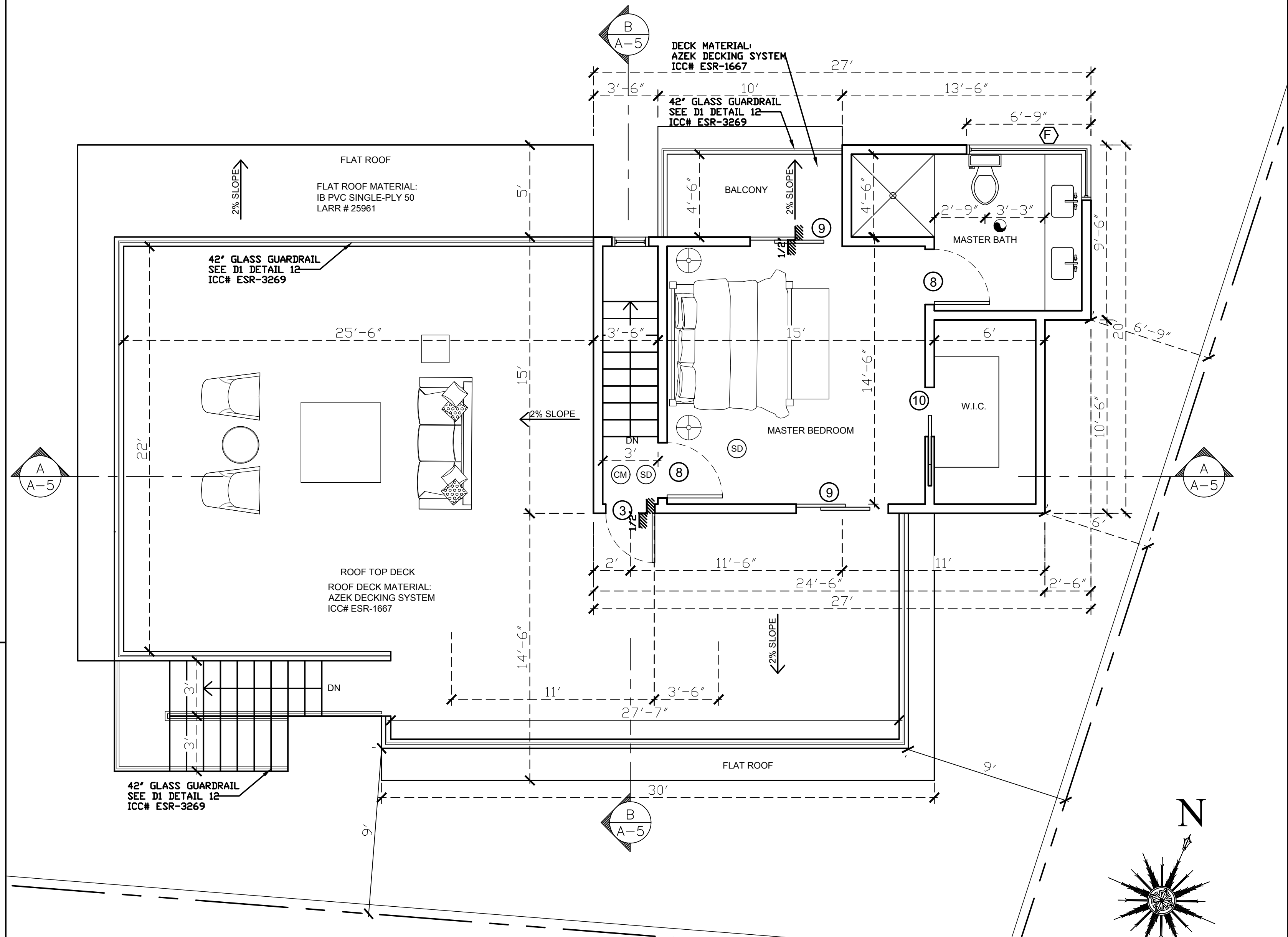
DECK BOARDS USED AS STAIR TREADS	MAXIMUM SPAN (inches)
1/2-inch-thick-by-6-inch uncapped deck board ²	17.25
1/2-inch-thick-by-6-inch uncapped deck board ³	9
1/2-inch-thick-by-6-inch uncapped deck board ⁴	24
1/2-inch-thick-by-3/4-inch tongue-and-groove uncapped porch board ⁵	11
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck board ⁶	9
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck board ⁷	24
1-inch-thick-by-3/4-inch tongue-and-groove semi-capped porch board	11

For 8: 1 inch = 25.4 mm; 1 in/ft² = 47.9 Pa.
¹Based on a minimum 2-span installation.
²Maximum span is measured center-to-center of the supporting construction. A treated Southern pine 2-by-6 installed edge-wise between the stringers and directly beneath the deck board using Simpson A23 connectors attached with hot dipped galvanized 10d by 1 1/2-inch joist hanger nails.
³Maximum span measured center-to-center of the supporting construction with no additional support.
⁴Maximum span measured center-to-center of the supporting construction with a treated 2-by-4 support installed edge-wise and centered under each deck board used as a tread attached with two 0.131-inch diameter by 3 1/2-inch-long round drive framing nails.
⁵Maximum span measured center-to-center of the supporting construction with no additional support.
⁶Maximum span measured center-to-center of the supporting construction with a treated 2-by-4 support installed edge-wise and centered under each deck board used as a tread attached with two 0.131-inch diameter by 3 1/2-inch-long round drive framing nails.
⁷Maximum span measured center-to-center of the supporting construction with no additional support.

TABLE 3—MAXIMUM UPLIFT LOADS FOR ALTERNATE FASTENING SYSTEMS

DECK BOARD	FASTENER	ALLOWABLE UPLIFT (lb/ft)
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck boards	#8 by 2 1/4-inch Stainless Steel Trim-Head Headcode™ Screw	100
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck boards	#10-by-2 1/4-inch Stainless Steel Flat-Head Screw	100
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck boards	CMG FastenMaster® Cortex Hidden Fastener System	100
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck boards	HDfast Hidden Fastener System	100
1-inch-thick-by-5/8-inch semi-capped and fully-capped deck boards	Type-Clear® Prodigy Hidden Fastener System	100
1/2-inch-thick-by-6-inch uncapped deck board	CMG FastenMaster® Cortex Hidden Fastener System	100
1/2-inch-thick-by-6-inch uncapped deck board	HDfast Hidden Fastener System	100
1/2-inch-thick-by-6-inch uncapped deck board	Type-Clear® Prodigy Hidden Fastener System	100
1-inch-thick-by-3/4-inch tongue-and-groove semi-capped porch board	#8 by 2-inch Simpson Strong Tie Wood Stainless Steel Screw	100
1-inch-thick-by-3/4-inch tongue-and-groove semi-capped porch board	16 GA x 2-inch Simpson Strong Tie L Series Stainless Steel Flooring Cleat	63

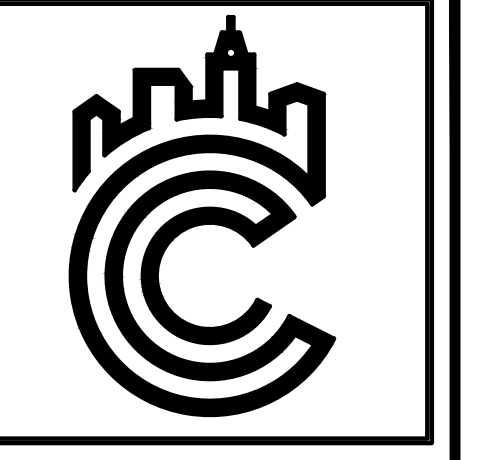
For 8: 1 inch = 25.4 mm; 1 in/ft² = 47.9 Pa.



SECOND FLOOR PLAN

1/4" = 1'-0"

- LEGEND:**
- 1-HR FIRE RATED WALL
 - NEW WALL
 - SMOKE DETECTOR/HARDWIRED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL
 - CARBON MONOXIDE ALARM HARDWIRED W BATTERY BACK-UP
 - BATH EXHAUST FAN W/LIGHT SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 50 CFM FANS NOT TO FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
SAN PEDRO, CA 90731

SECOND FLOOR PLAN

DATE: 10/22/2020

SCALE: 1/4" = 1'-0"

REVISION:

△	
△	
△	
△	
△	

PROJECT #: 19-133

DRAWN BY: MS

SHEET **A2.1**

IB Roof Systems
 8181 Jetstar Suite 150
 Irving, Texas 75063

RESEARCH REPORT: RR 25961
 (CSI # 07.54.19)

Attention: Phillip David
 Director of Technical Services
 (972)-354-6627

Expires: August 1, 2020
 Issued Date: July 1, 2018
 Code: 2017 LABC

GENERAL APPROVAL – Renewal - IB PVC Roofing Membranes

DETAILS

IB Roof Systems single-ply roofing systems consist of single-ply polyvinyl chloride (PVC) roofing membrane, base/top insulation (when used) for use in adhered or mechanically fastened applications.

IB PVC Single Ply is a 50-mil, 60-mil, 80-mil polyester fabric-reinforced PVC membrane compliant with ASTM D4434, Type III.

IB PVC Single Ply Fleeceback is a 50-mil, 60-mil, 80-mil polyester reinforced PVC membrane with a non-woven polyester fleece backing. The membrane complies with ASTM D4434, Type III.

IB Roof single-ply roofing systems meet the fire classification and allowable design pressures outlined in Appendix 1, attached.

The roof covering systems described above are approved as Class A or Class B roof coverings and subject to the following conditions:

- The roofing materials shall be delivered to the job site in sealed containers identified by the manufacturer's name and product designation.

RR 25961
 Page 1 of 3

LABOR: 0.6/Rev/08/03/07/06 AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

**IB Roof Systems
 RE: IB PVC ROOFING MEMBRANES**

- Application of the components shall be in accordance with the applicant's published installation instructions, consistent with the description and requirements herein. (A copy shall be available at the job site).
- Installation of the membranes must comply with the 2017 LABC, the manufacturer's published installation instructions, and this report.
- IB Roof Systems PVC Single-Ply Roofing Systems are approved for reroofing (in accordance with Section 6.4 of AC75) under the following conditions:
 - Class A, B, or C roof covering systems may be installed over existing roof covering systems under the following conditions provided the resulting classification is the lower of the new and existing roofing classifications:
 - New uninsulated systems installed only over existing uninsulated assemblies.
 - New insulated systems installed over existing uninsulated systems only.
 - For wind uplift resistance, mechanically anchored systems may be accepted based on adequacy of anchors penetrating through existing roof coverings into structural substrates.
 - Metal edge securement systems must be listed in accordance with ANSI/SPRI ES-1 dated (2003 or 2011, as applicable) and designed and installed for wind loads in accordance with LABC Section 1504.5 and LABC Chapter 16.
- The membranes must be installed by authorized applicators approved by IB Roof Systems.
- Foam plastic must be separated from the interior of the building by approved thermal barrier in accordance with Section 2603.4.1.5 of the 2017 LABC or Section R316.4 of the 2017 LARC, as applicable.
- Foam plastic insulation, when used, must bear the label of an approved testing and listing agency indicating that the foam plastic has a flame-spread index of not more than 75 when tested at the maximum thickness intended for use in accordance with ASTM E84 or UL 723.
- Above-deck thermal insulation board must comply with the applicable standard listed in Table 1508.2 of the 2017 LABC or Table R906.2 of the 2017 LARC, as applicable.
- Allowable wind uplift pressures given in Tables 3 and 4 of the attachment are for the roof covering only. The deck and framing to which the roof covering is attached must be designed for the applicable components and cladding wind loads in accordance with the 2017 LABC.

RR 25961
 Page 2 of 3

**IB Roof Systems
 RE: IB PVC ROOFING MEMBRANES**

DISCUSSION

The report is in compliance with the 2017 LABC.

The approval was based on data in accordance with ICC Evaluation Services Acceptance Criteria for Membrane Roof Covering Systems (AC75).

Addressee to whom this Research Report is issued is responsible for providing copies of it, complete with any attachments indicated, to architects, engineers and builders using items approved herein in design or construction which must be approved by Department of Building and Safety Engineers and Inspectors.

This general approval of an equivalent alternate to the Code is only valid where an engineer and/or inspector of this Department has determined that all conditions of this approval have been met in the project in which it is to be used.

QUAN NGHIEM, Chief
 Engineering Research Section
 201 N. Figueroa St., Room 880
 Los Angeles, CA 90012
 Phone: 213-202-9812
 Fax: 213-202-9943

IB
 800.274.1450
 714.200.0048
 909.224.2

Attachment: Assemblies and Allowable Wind Uplift Pressure (9 pages)

RR 25961
 Page 3 of 3

Technical Data Sheet

IB PVC Single-Ply 50

Product Description:
 IB PVC Single-Ply 50 is a polyester scrim reinforced, compounded, pvc resin based sheet with plasticizers, stabilizers, fillers, pigments and other proprietary materials meeting ASTM D4434, Type III. Rolls are manufactured in a nominal 50 mil thickness and use an anti-wicking scrim for added strength, tear resistance and enhanced moisture resistance.

Packaging:
 Size: 6' x 90'
 3' x 90'

Sq. Ft. / Weight per roll (approx.)
 540 sq. ft. / 175 lbs.
 270 sq. ft. / 90 lbs.

- Features:**
- Meets and exceeds ASTM D 4434-12, Type III Thermoplastic Membrane
 - 15-Year Limited Material Warranty
 - Excellent flexibility in all climates
 - Highly reflective IB PVC Single-Ply can help to reduce heat transfer through the roof into the building's interior
 - Thick, heavy duty 24 mil top ply weathering film
 - Thermally welded seams provide superior seam strength
 - Exceeds Energy Star™ and California Title 24 requirements for Solar Reflectance and Emissivity (White, Cool Sand)

Use:
 IB PVC Single-Ply 50 can be installed in new, re-cover, and re-roof constructions as the primary field membrane and base flashing at all roof to wall transitions. It can be mechanically attached or fully adhered to a properly prepared substrate with approved fasteners and membrane plates or approved membrane adhesive.

Warranties:
 IB PVC Single-Ply 50 has a 15-Year Limited Material Warranty and is available for "Warranty Plus" and "Total System" warranties for IB Roof Systems Authorized Applicators.

Available Colors:
 White, tan, gray and brown.

Approvals:
 IB PVC membranes are listed with various component assemblies at UL and Factory Mutual (F.M. Global) for fire, wind uplift and impact resistance. Visit our website for links to these agencies and listings at: www.ibroof.com.

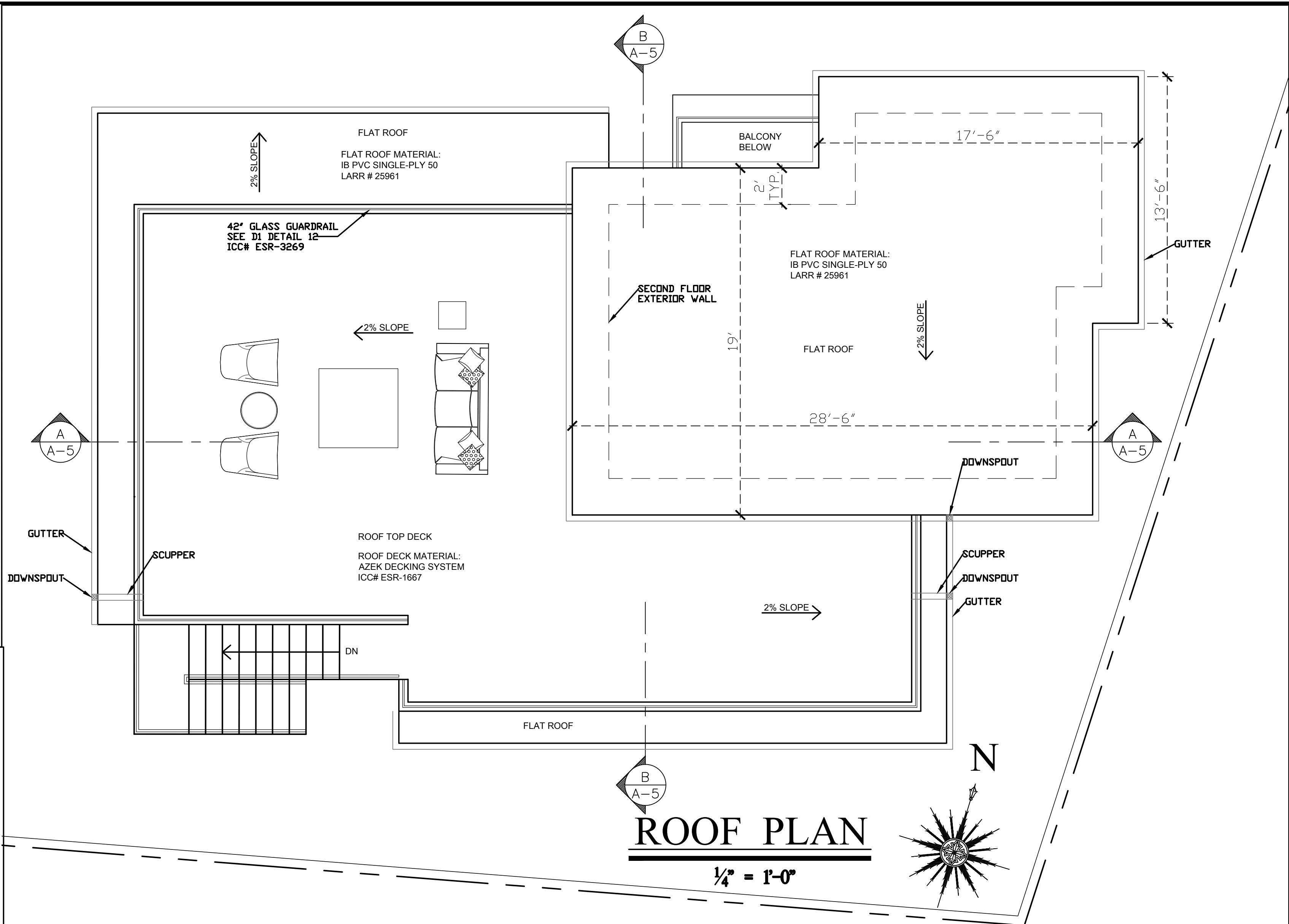


Membrane Color	Solar Reflectance	Thermal Emittance	SR Value Initial	SR Value 3 Year Aged	LEV
White	0.870	0.88	110	91	94.3
Tan	0.366	0.87	39	N/A	30.2
Gray	0.163	0.88	13	N/A	18.1
Brown	0.079	0.87	2	N/A	7.2

Property	Method	Requirement	50 Mil
Overall thickness of PVC sheet, min. (in.)	ASTM D751	0.045	0.050 mm
Tensile strength, min. (lb/ft²)	ASTM D751	200 x 200	323 x 256
Elongation at the break, min. %	ASTM D751	10' x 10'	34 x 20
Retention of properties after heat aging (90% of original)	ASTM D3045		
Breaking strength	ASTM D751	90	Pass
Elongation	ASTM D751	90	Pass
Tearing strength, min. (lb/ft)	ASTM D751	45.0	54 x 48
Low temperature bend	ASTM D2136	-40°F	Pass
Accelerated weathering test	ASTM G154		
Cracking (7x magnification)	None	None	None
Cracking (7x magnification)	None	None	None
Linear dimension change, max%	ASTM D1204	+/- 0.5	0.30 MO 0.02 MO
Change in weight after immersion in water, max %	ASTM D570	+/- 3.0	1.1
Static puncture resistance	ASTM D5602	Pass	Pass
Dynamic puncture resistance	ASTM 5615	Pass	Pass
*For reinforcing fabric only; elongation of PVC material shall be 250% MO and 200% MO			

Recycle Content	
Pre-Consumer	20%

IB Roof Systems, Inc. | www.ibroof.com | 1.800.274.1450 | 714.200.0048 | 909.224.2 | Rev. 1.1.2015



Note :

- MINIMUM ROOF SLOPE OF 3/8" PER FOOT SHALL BE PROVIDED AT ANY POINT OF THE ROOF. PROVIDE UNIFORM SLOPE TOWARD DOWNSPOUTS AND/OR SCUPPERS AS INDICATED ON ROOF PLAN. (REFER TO DETAILS FOR DOWNSPOUTS AND SCUPPERS INCLUDED IN THIS DRAWINGS.)
- INSULATIONS SHALL BE INSTALLED AT BOTTOM OF JOISTS OR FRAMING UNDER ENTIRE ROOF. USE R-30 INSULATION WITH VAPOR BARRIER.
- CHECK & VERIFY LOCATIONS & EXACT SIZES OF ALL A/C EQUIPMENT, REQUIRED OPENINGS & SUPPORTS WITH A/C CONTRACTORS BEFORE FRAMING BEGINS. ANY REWORKING REQUIRED TO ACCOMMODATE EQUIPMENT IN QUESTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- PAINT ALL ROOF EQUIPMENTS. ALL ROOF METAL SHALL RECEIVE TWO (2) COATS OF EXTERIOR SEMI GLOSS PAINT. VERIFY COLOR W/ARCHITECT.

- TELEVISION ANTENNA CROSSARMS OR OTHER ROOF OBSTRUCTIONS SHALL BE LOCATED 20'-0" MIN. FROM EDGE OF ROOF & 7'-0" MIN. ABOVE ROOF.
- PROVIDE ATTIC DRAFT STOPS AS REQUIRED (SEE ROOF PLAN & DETAILS). DRAFT STOPS SHALL DIVIDE ATTIC SPACES INTO AREAS NOT TO EXCEED 3,000 SQ. FT. PER UBC SEC.3205 (8). SEE DETAILS FOR WOOD & GYP. BOARD DRAFT STOPS. PROVIDE 2" X ___ WOOD FRAMING AS REQUIRED TO COMPLETE ITS CONSTRUCTION.
- PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE.
- PROVIDE GRAVITY TYPE ATTIC VENTILATORS AT ROOF IF TRUSSES ARE NOT OF SOLID WEB CONSTRUCTION. WHEN ATTIC DRAFT STOP ARE REQUIRED PROVIDE TWO (2) ROOF GRAVITY VENTILATORS FOR EACH DIVISION.
- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING THE ROOF.

- CRICKET WITH 1/2" PLYWOOD OVER 2" X ___ SLEEPERS TYPICAL.

- THE ROOFS FOR THE MAIN BUILDING AND THE EXISTING BUILDING ARE SPECIALIST TO VERIFY THAT:

ALL EXISTING ROOFING MATERIALS AND INSTALLATION METHODS ASSOCIATED FLASHINGS AND SHEET METAL HAVE BEEN PROPERLY INSTALLED THE ROOFS ARE TO BE FLOOD TESTED IN A MANNER APPROPRIATE TO THE TYPE EXISTING ROOFING. SEE NOTE 12 BELOW. ANY DEFICIENCIES OR LEAK CONDITIONS ARE TO BE CORRECTED. A PERIOD OF ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE BY THE TENANT.

- ROOF FLOOD TEST TO BE CONDUCTED IN THE PRESENCE OF THE BUILDING OWNER AND THE TENANT. CONTRACTOR PROVIDE MIN. 96 HRS. NOTICE TO BOTH PARTIES.
- CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

- VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (0.48MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (705A.3)

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (705A.4)

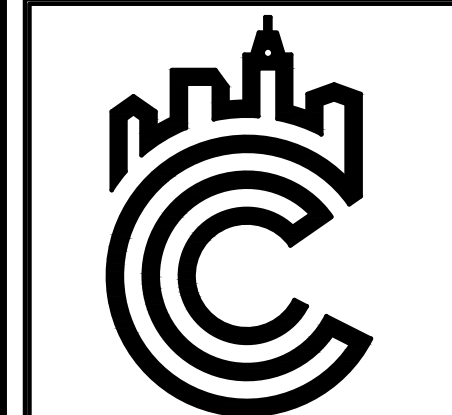
- (ROOF) (ATTIC) (EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION- RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, 706A.2, 706A.3, 7207.3).

- EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (707A.5.5).

- DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC 709A.3.

- THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8).

- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD., STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

ROOF PLAN

DATE: 10/22/2020

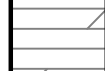

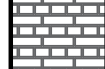

SCALE: 1/4" = 1'-0"

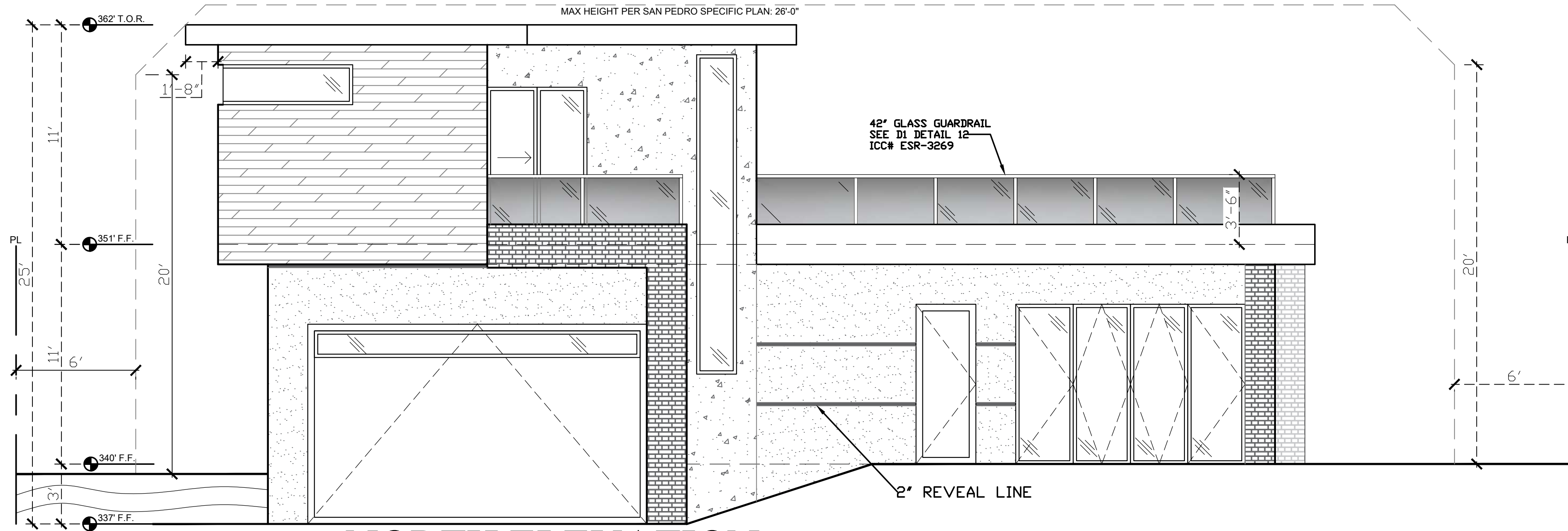
REVISION:	
Δ	
Δ	
Δ	
Δ	
Δ	

PROJECT #: 19-133

DRAWN BY: MS

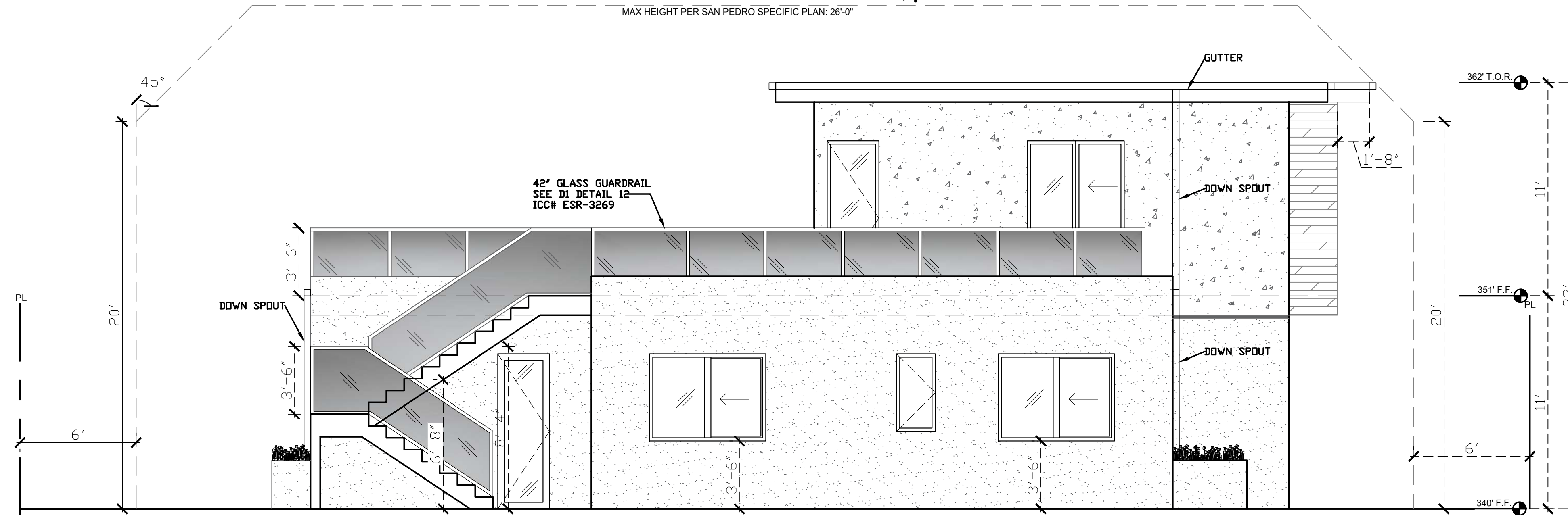
SHEET
A3

-  WOOD SIDING
-  CONCRETE
-  STACK STONE
-  STUCCO



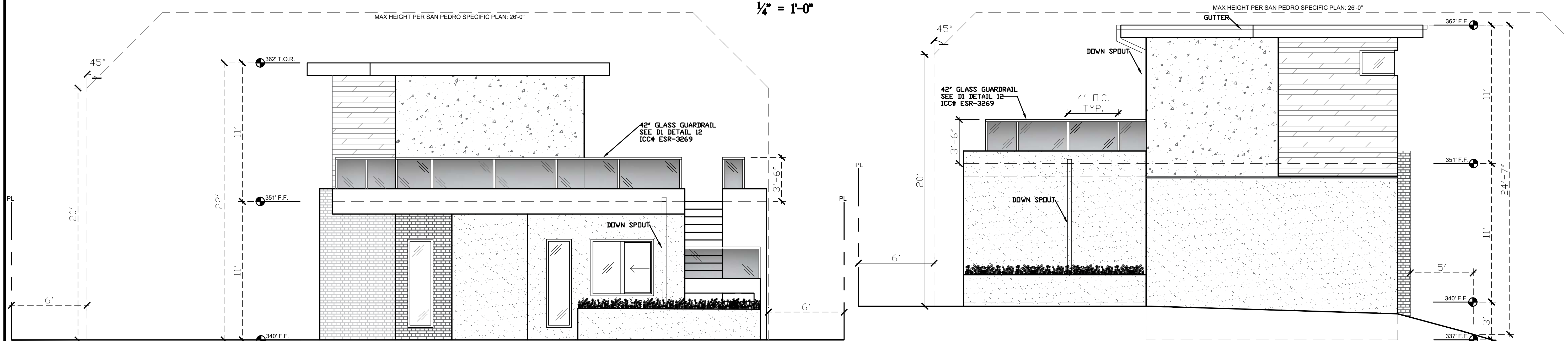
NORTH ELEVATION

1/4" = 1'-0"



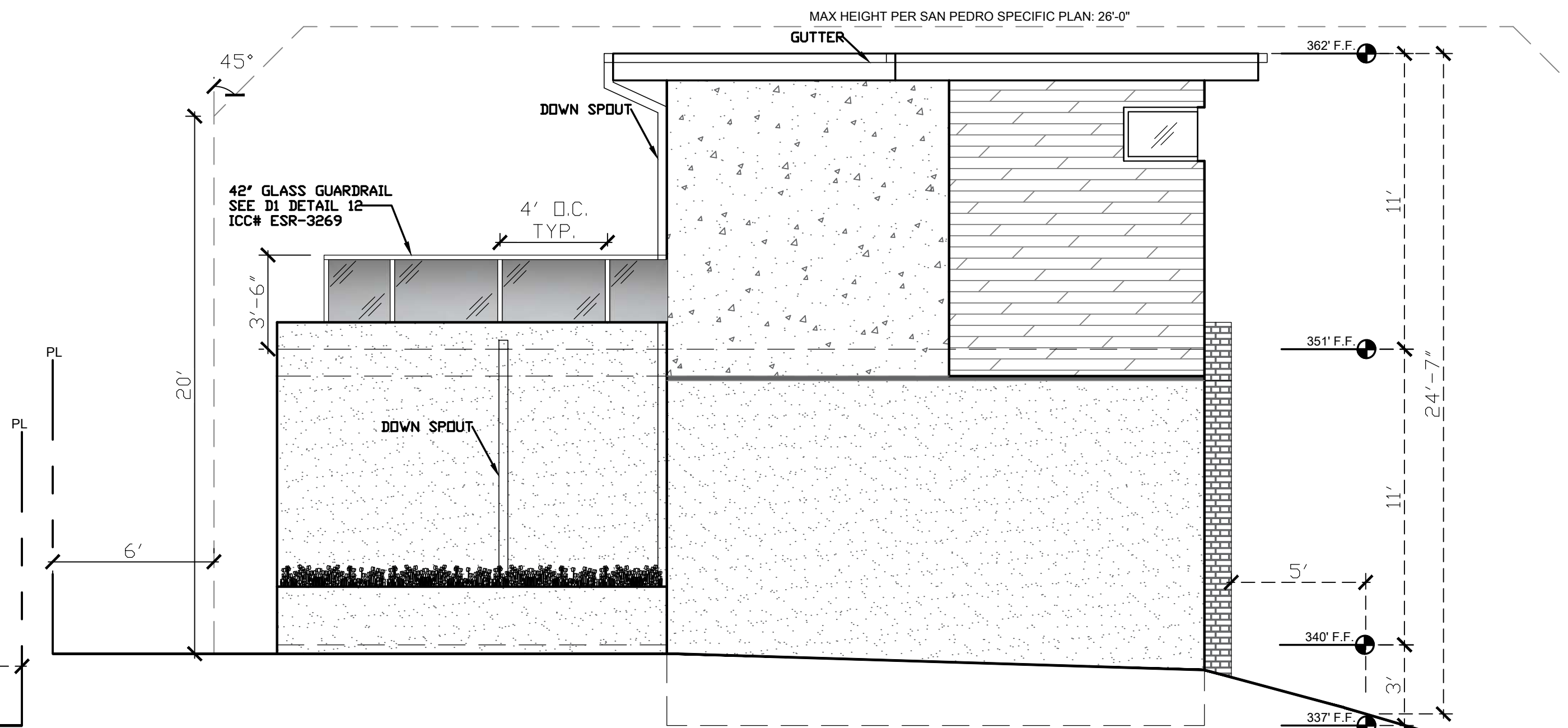
SOUTH ELEVATION

1/4" = 1'-0"



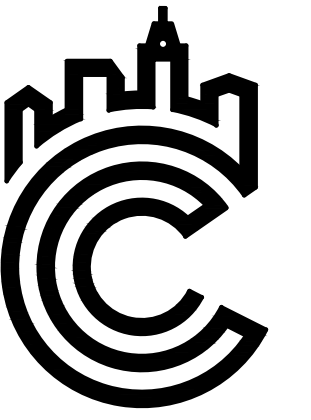
EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD, STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA_ODDESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

ELEVATIONS

DATE: 10/22/2020

SCALE: 1/4" = 1'-0"

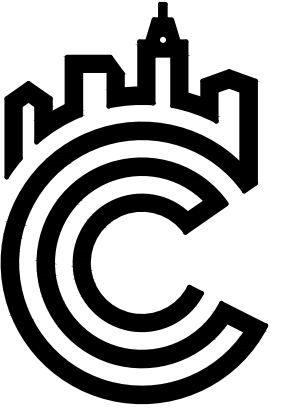
REVISION:	
△	
△	
△	
△	

PROJECT #: 19-133

DRAWN BY: MS

SHEET

A4



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD., STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

3401 S. PATTON AVE.
 SAN PEDRO, CA 90731

SECTIONS/
 WINDOW&DOOR
 SCHEDULE

DATE: 10/22/2020

SCALE: 1/4" = 1'-0"

REVISION:

△	
△	
△	
△	

PROJECT #: 19-133

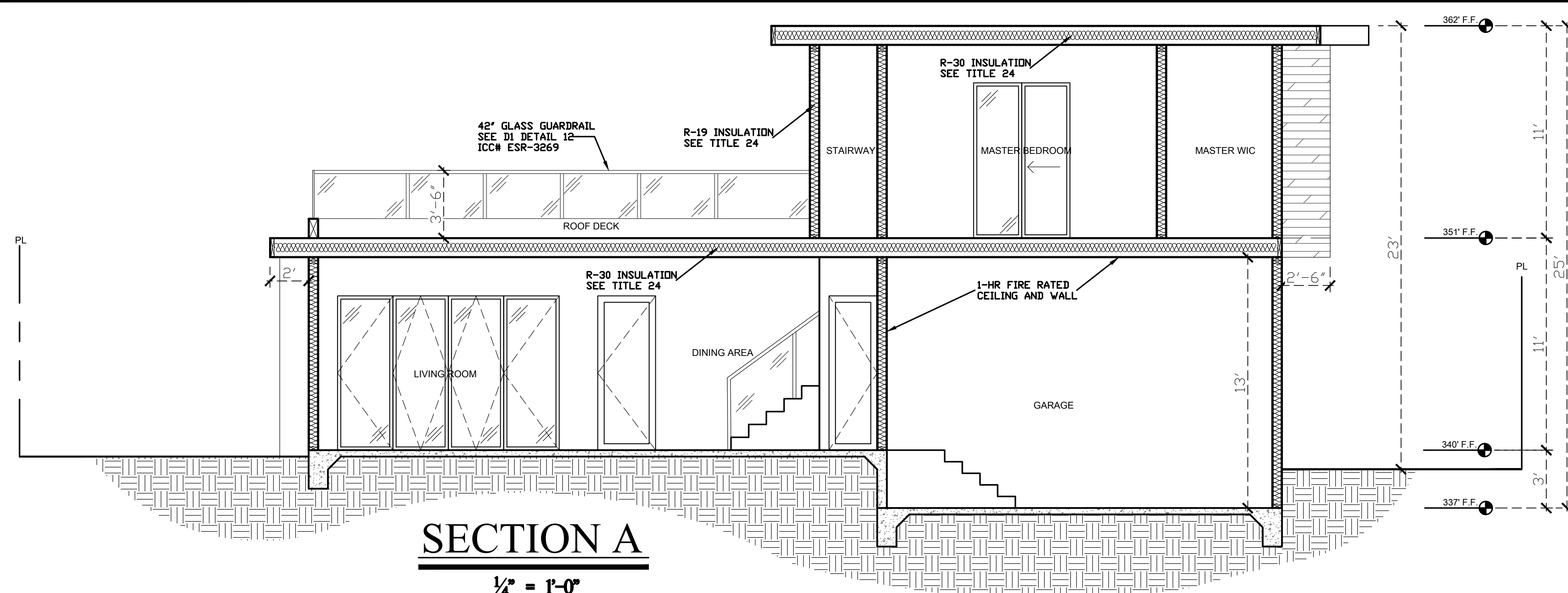
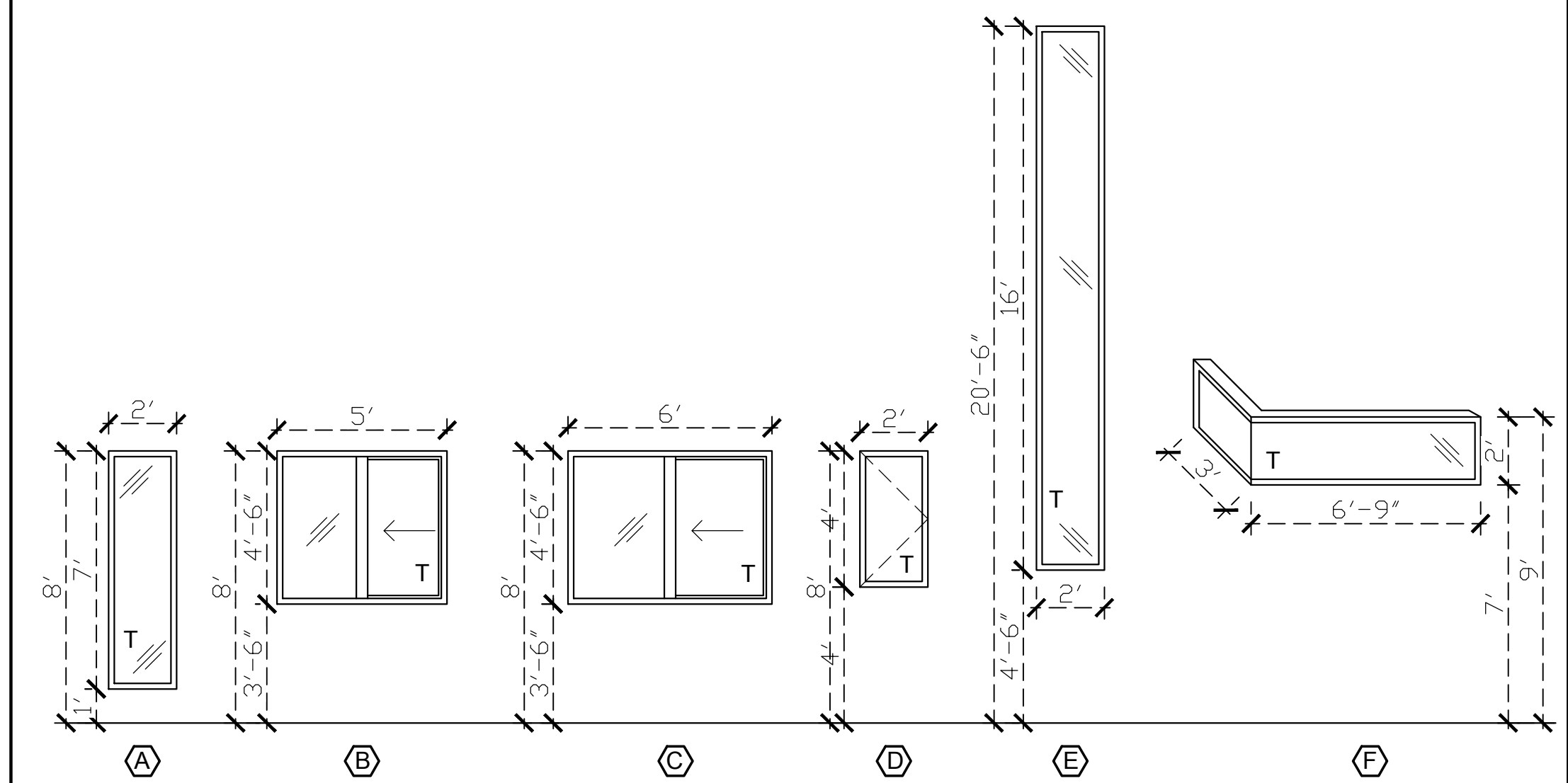
DRAWN BY: MS

SHEET

A5

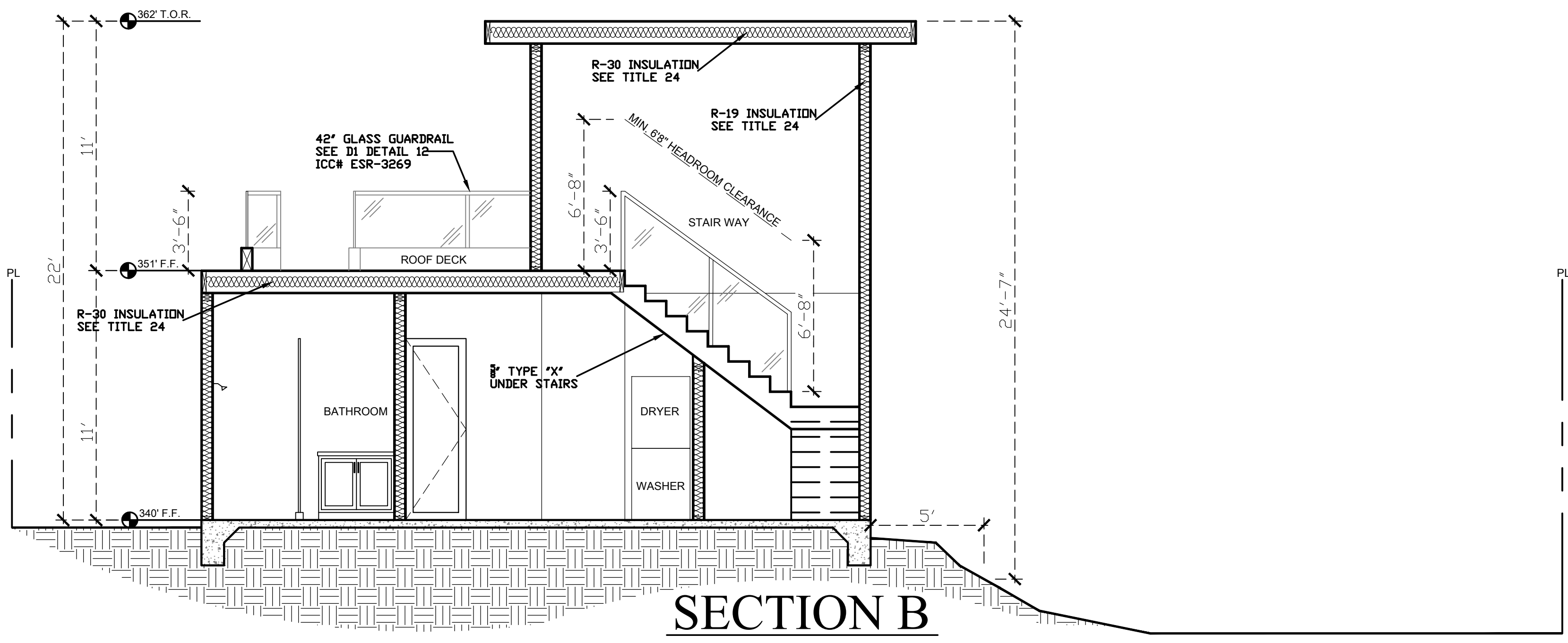
WINDOW SCHEDULE

SYM.	QTY	SIZE		FRAME	GLAZING	HEAD HT.	REMARKS
		WIDTH	HEIGHT				
A	2	2'-0"	7'-0"	--	DBL/TEMP.	8'-0"	FIXED/ TEMPER
B	1	5'-0"	4'-6"	--	DBL/TEMP.	8'-0"	CASEMENT/ TEMPER
C	2	6'-0"	4'-6"	--	DBL/TEMP.	8'-0"	EMERGENCY EGRESS/ TEMPER
D	1	2'-0"	4'-0"	--	DBL/TEMP.	8'-0"	CASEMENT/ TEMPER
E	1	2'-0"	16'-0"	--	DBL/TEMP.	20'-6"	FIXED/ TEMPER
F	1	9'-9"	2'-0"	--	DBL/TEMP.	9'-0"	CORNER WINDOW/ TEMPER



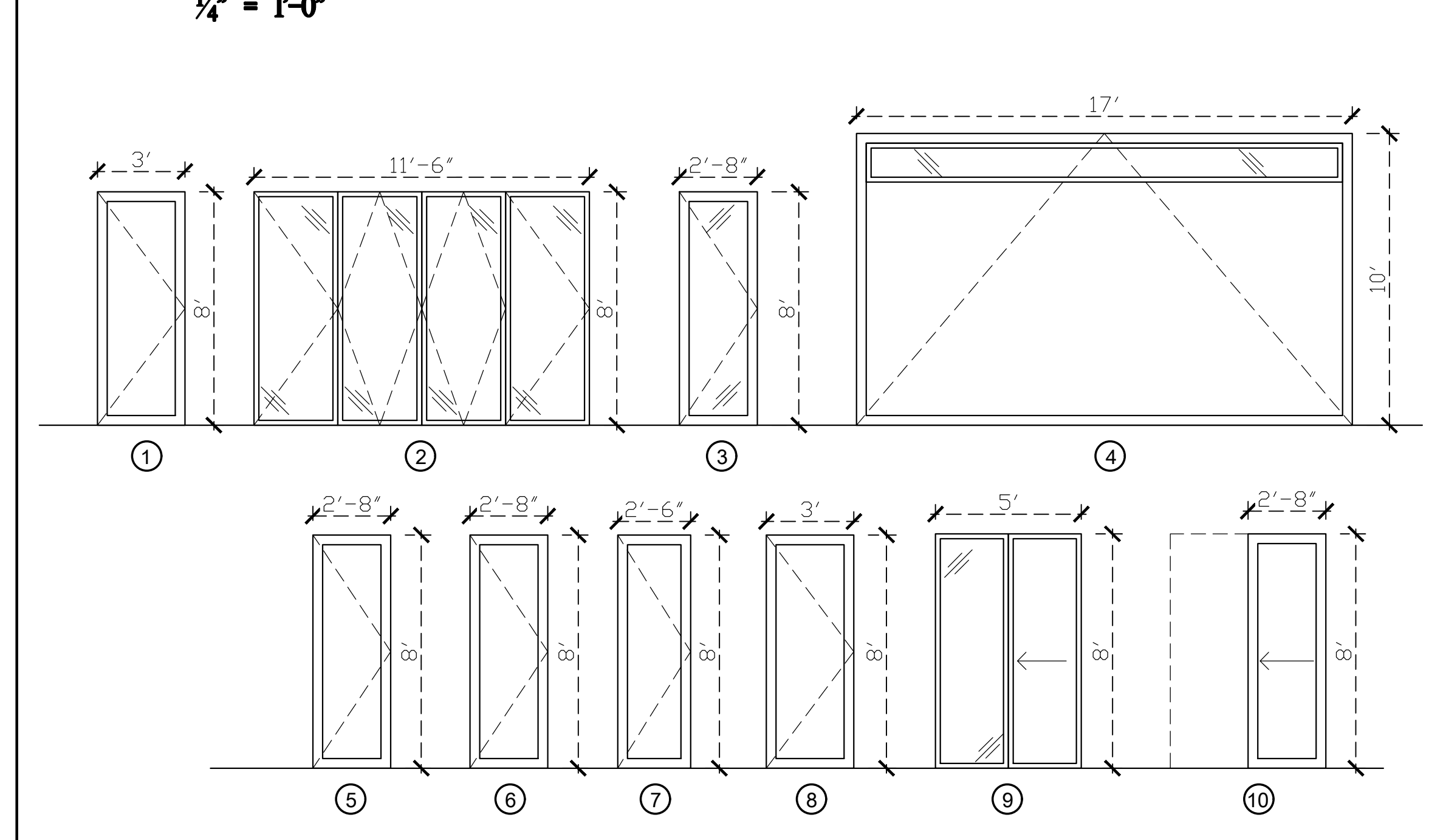
SECTION A

1/4" = 1'-0"



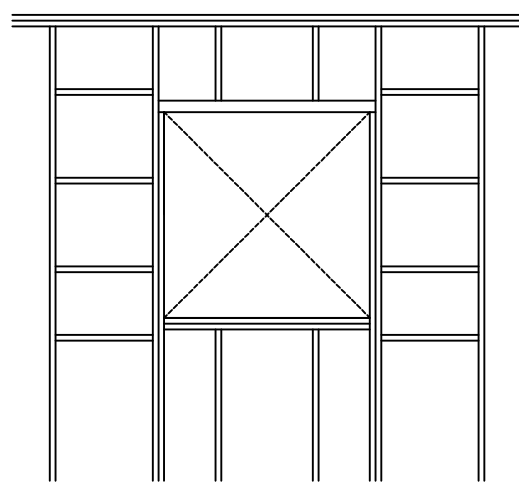
SECTION B

1/4" = 1'-0"



DOOR SCHEDULE

SYM.	QTY	SIZE		THK.	CONST.	FACE	FRAME	GLASS	REMARKS
		WIDTH	HEIGHT						
①	1	3'-0"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		MAIN ENTRANCE
②	1	11'-6"	8'-0"	1 3/4"	GLASS	PAINTED	WOOD	DUAL	BI-FOLD/ TEMPER
③	2	2'-8"	8'-0"	1 3/4"	GLASS	PAINTED	WOOD	DUAL	
④	1	17'-0"	10'-0"	1 3/4"	S.C.	PAINTED	WOOD		GARAGE DOOR
⑤	3	2'-8"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		
⑥	1	2'-8"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		20 MIN SOLID CORE SELF-CLOSING DOOR
⑦	1	2'-6"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		CLOSET DOOR
⑧	2	3'-0"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		
⑨	2	5'-0"	8'-0"	1 3/4"	GLASS	PAINTED	WOOD	DUAL	SLIDING DOOR
⑩	1	2'-8"	8'-0"	1 3/4"	S.C.	PAINTED	WOOD		POCKET DOOR

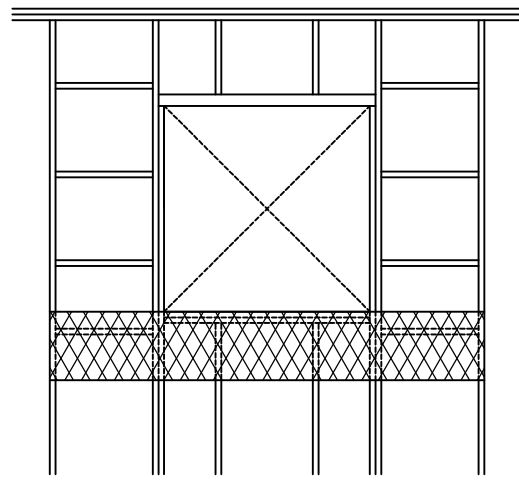


ALL BUILDING PAPER TO BE "SUPER JUMBO-TEX" BY FORTIFIBER OR APPROVED EQUAL. 60 MINUTE GRADE D.

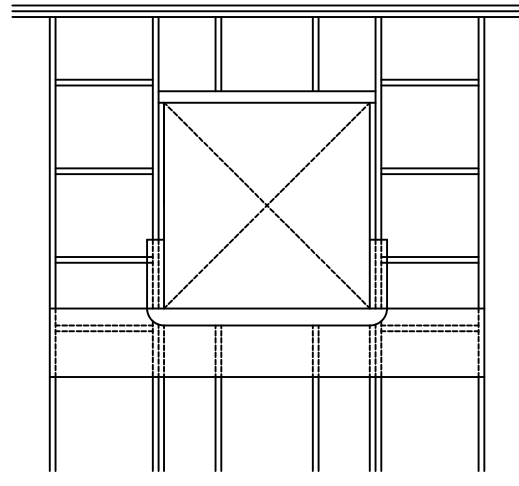
ALL WINDOW FLASHING TO BE 12" WIDE "MOISTOP" BY FORTIFIBER OR APPROVED EQUAL.

SELF-ADHERING SHEET FLASHING TO BE "ICE AND WATER SHIELD" OR APPROVED EQUAL.

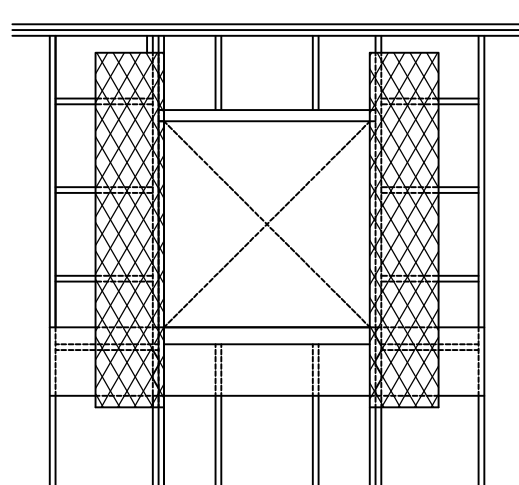
1. FRAMING - WHERE THE OPENING OCCURS IN A WALL WITHOUT EXTERIOR SHEATHING, THE BLOCKING MEMBERS (A) SHOULD BE INSTALLED AS NECESSARY TO SUPPORT THE OUTSIDE EDGES OF SIDE FLASHING. INSTALL APPROXIMATELY 16" o.c. BLOCKING MAY BE OMITTED WHEN THE STUD IS INSTALLED TO SUPPORT THE OUTSIDE EDGE OF THE SIDE FLASHING.



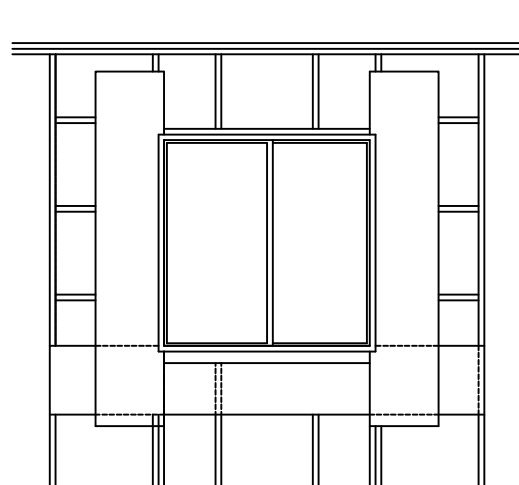
2. BOTTOM SEAL FLASHING - APPLY THE FIRST STRIP OF FLASHING (B) HORIZONTAL, TIGHT TO THE BOTTOM OF THE WINDOW OPENING, EXTEND FLASHING GREATER THAN 12" PAST THE OPENING AND ATTACH TO THE NEXT AVAILABLE STUD. FASTEN ONLY THE TOP EDGE SO THAT THE SUBSEQUENT LAYERS OF THE BUILDING PAPER MAY BE LAPPED UNDER. (SHINGLED).



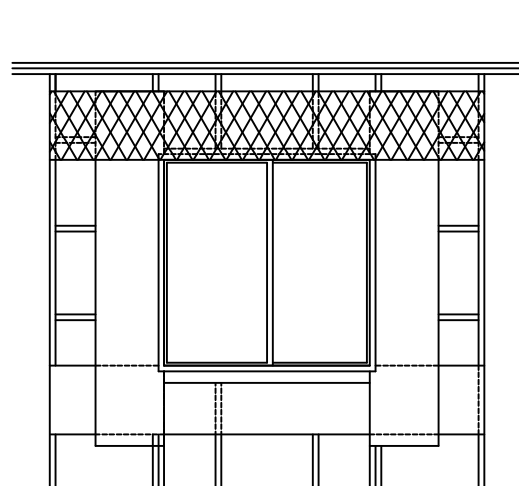
3. INSTALL SELF ADHERING SHEET FLASHING (C) CONTINUOUS INTO THE FULL DEPTH OF THE FRAMED OPENING ALONG THE SILL AND UP THE JAMBS 6" MINIMUM.



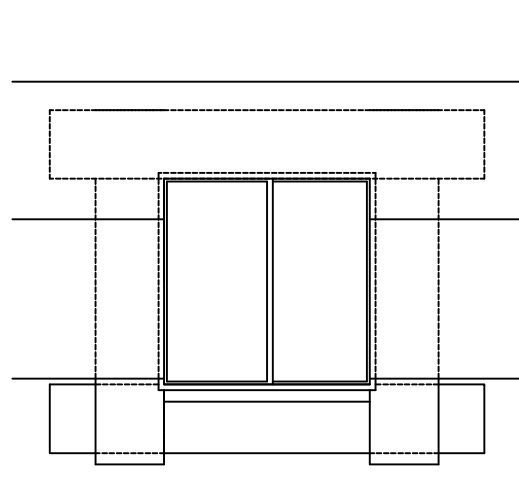
4. INSTALL THE TWO SIDE (JAMB) FLASHING STRIPS (D) VERTICAL, TIGHT TO THE SIDES OF THE WINDOW OPENING. EXTEND FLASHING ABOVE THE TOP AND BELOW THE BOTTOM OF THE OPENING FOR A DISTANCE EQUAL TO AT LEAST THE WIDTH OF THE FLASHING STRIP. THE BOTTOMS OF THE VERTICAL SIDE STRIPS SHOULD LAP OVER THE BOTTOM HORIZONTAL STRIP AND SHOULD NOT BE NAILED SO THAT SUBSEQUENT LAYERS OF BUILDING PAPER MAY BE LAPPED UNDER (SHINGLED).



5. INSTALL THE WINDOW BY FIRMLY PRESSING THE NAIL FLANGE ONTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (E) EXTENDING AROUND ALL FOUR SIDES OF THE WINDOW FLANGE. THE SEALANT BEAD (APPROX. 3/8" DIA.) SHOULD BE APPLIED TO THE BACK SIDE OF THE NAILING FLANGE PRIOR TO MOUNTING THE WINDOW UNIT. PLACE THE SEALANT IN LINE WITH PRE-PUNCHED HOLES AND SLOTS. THE WINDOW SHOULD THEN BE TRUED AND LEVELED. NAIL INTO PLACE PER MFR. INSTRUCTIONS.

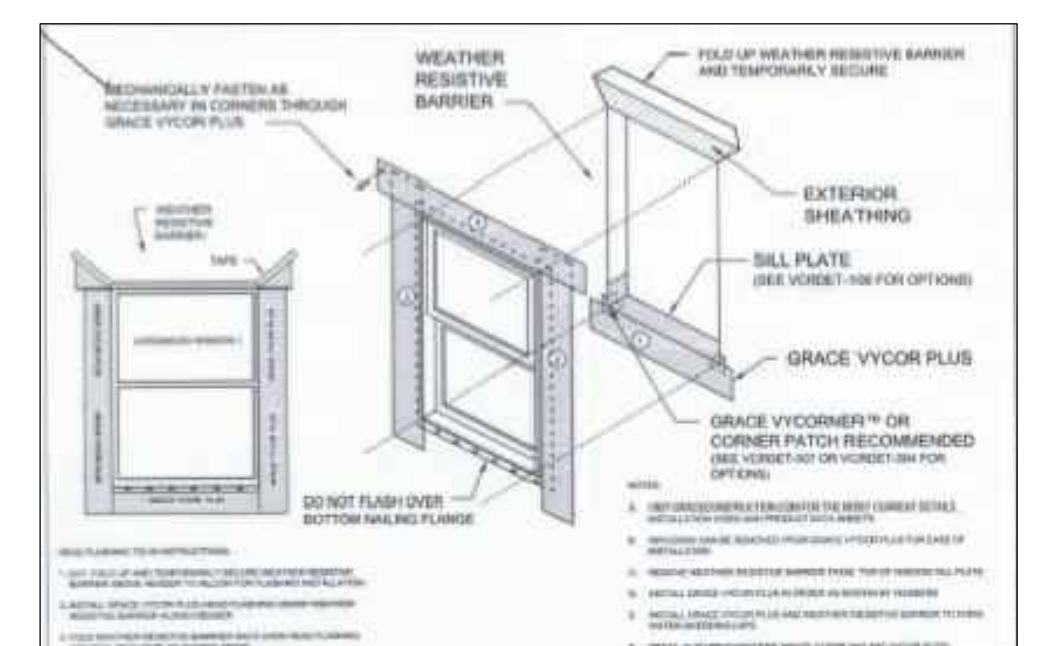


6. INSTALL THE TOP (HEAD) FLASHING TO LAP OVER THE TOP NAILING FLANGE. PRESS THE BOTTOM EDGE OF THE FLASHING STRIP INTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (F) ON THE OUTSIDE FACE OF THE NAILING FLANGE. PLACE THE SEALANT IN LINE WITH THE PRE-PUNCHED HOLES AND SLOTS. EXTEND THE ENDS OF THE TOP FLASHING STRIP SO THAT IT ALL OVERLAPS THE OUTER EDGES OF THE SIDE FLASHING STRIPS.

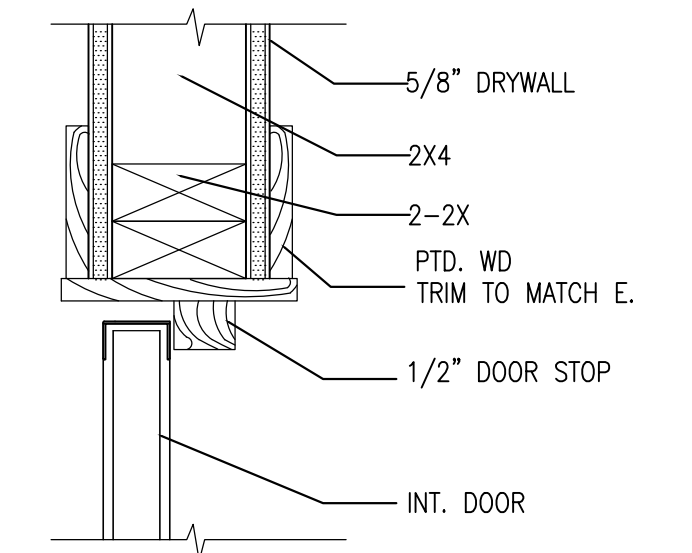


7. STARTING AT THE BOTTOM OF THE WALL, INSTALL THE WATERPROOF BUILDING PAPER IN "SHINGLE" FASHION UP THE WALL. THE LAYER WHICH FALLS AT THE BOTTOM OF THE WINDOW OPENING SHOULD BE LAPPED UNDER THE BOTTOM FLASHING. SUCCESSIVE LAYERS OF BUILDING PAPER SHOULD LAP OVER THE SIDE NAILING FLANGES.

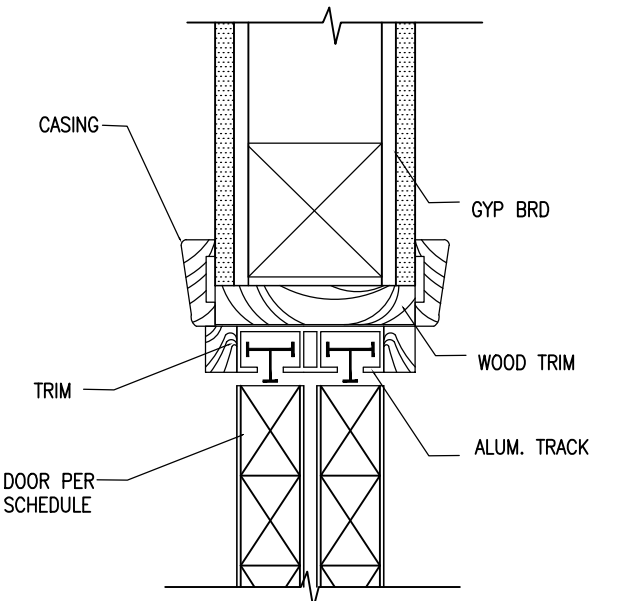
PENETRATION FLASHING



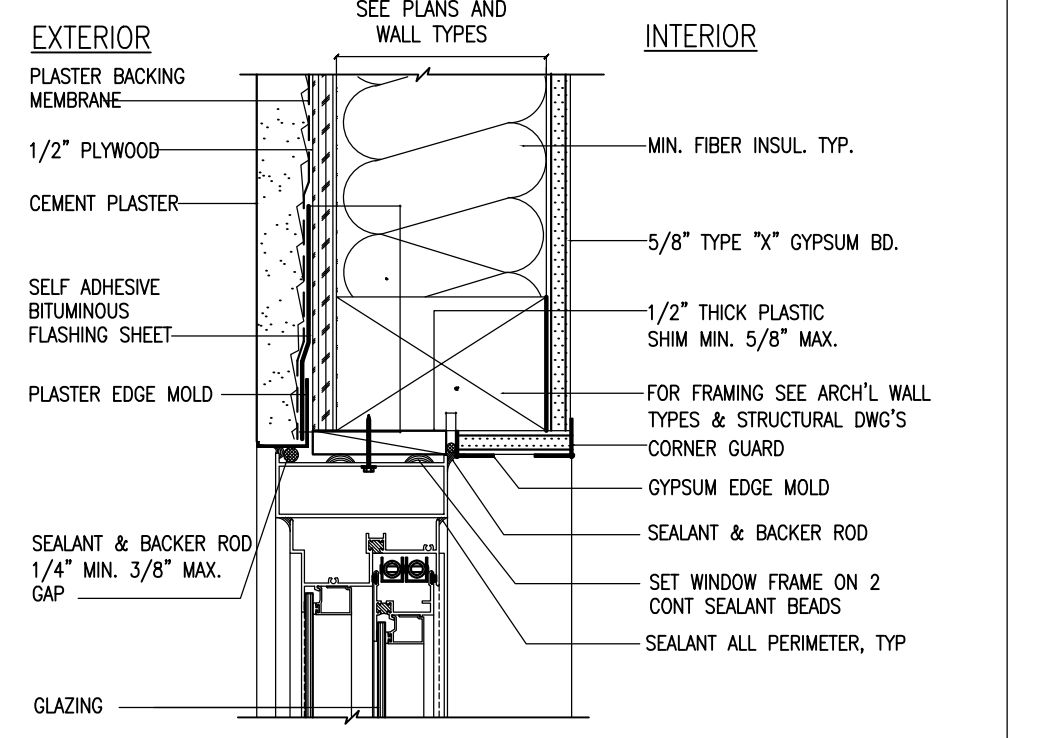
TYPICAL WINDOW AND LOUVER FLASHING AT BUILDING PAPER W.R.B. 14



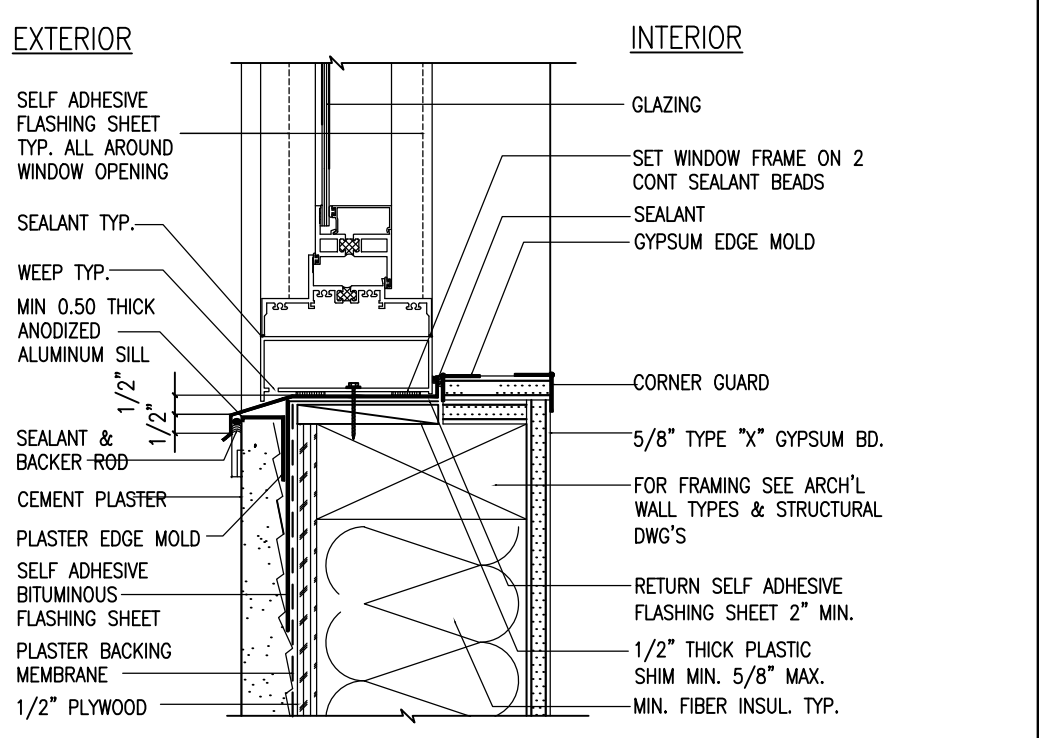
INT. DOOR JAMB/HEAD TYP. 1



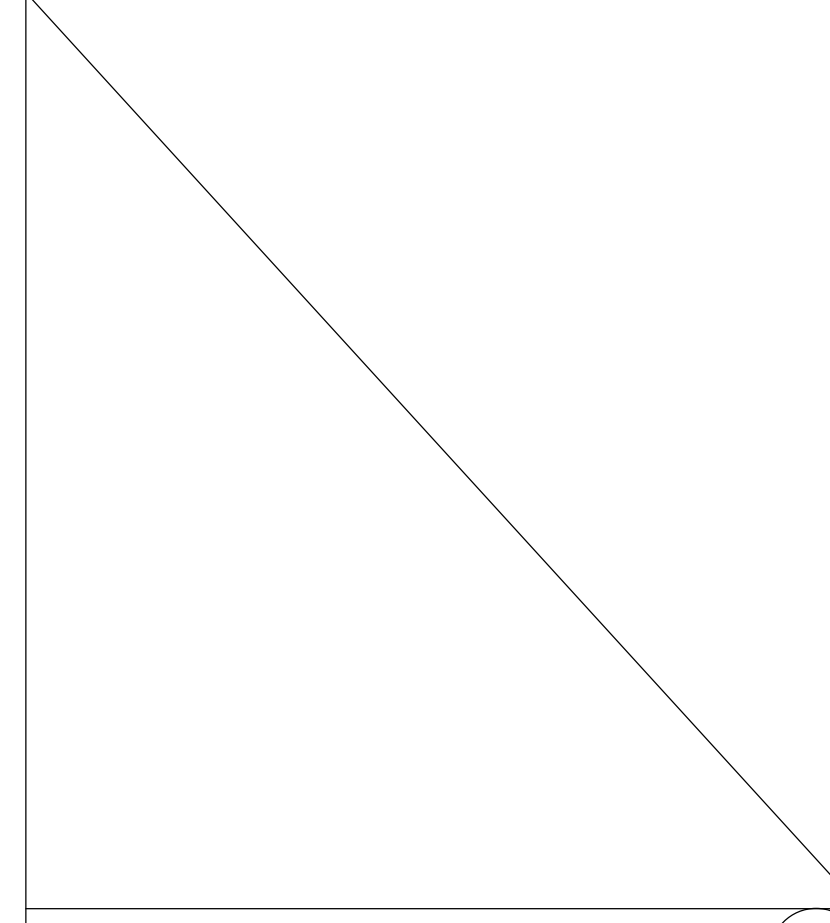
SLIDING DOOR HEAD JAMB SIM. 2



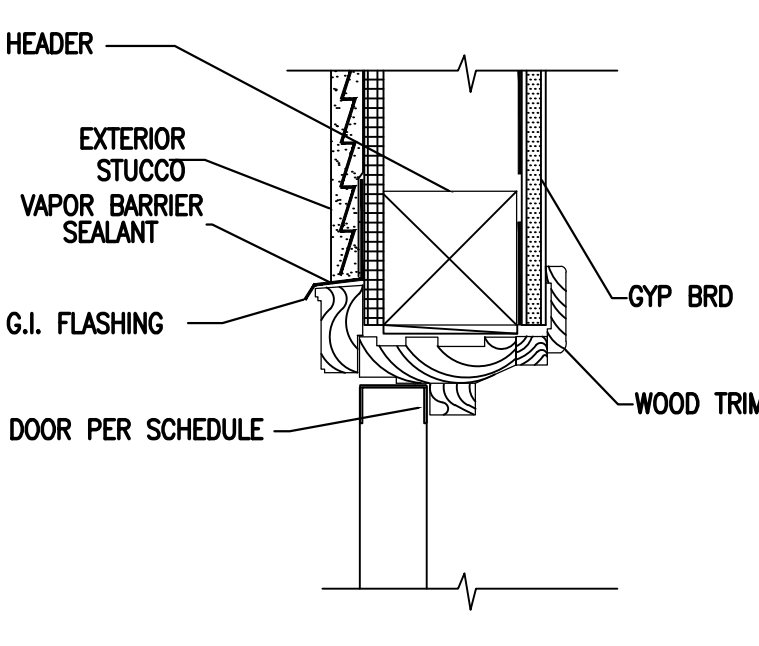
SECTION WINDOW HEAD/JAMB SIM 3



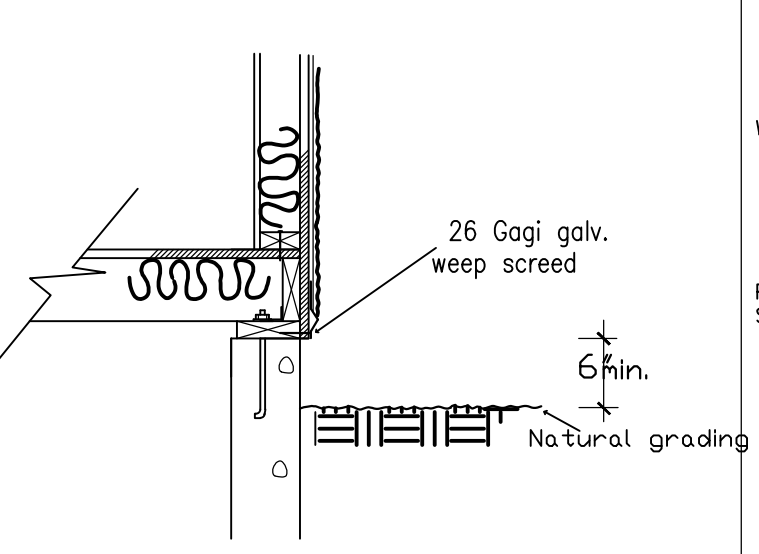
WINDOW SILL 4



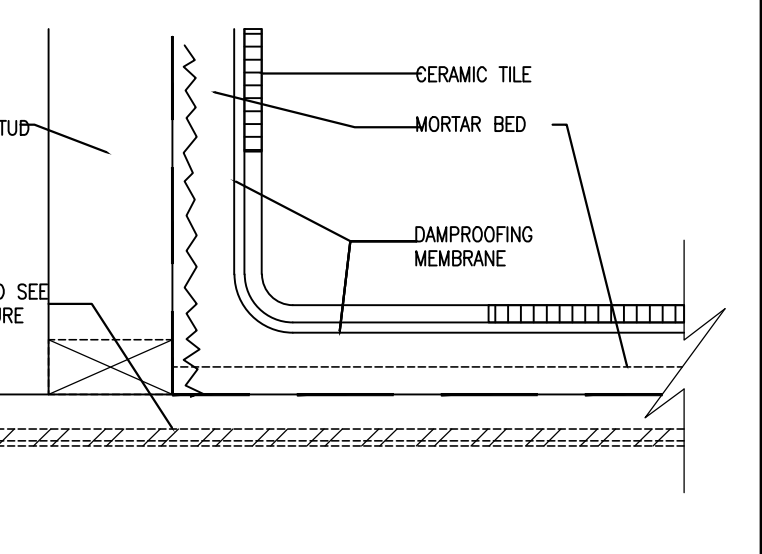
EXT. DOOR JAMB/HEAD TYP. 5



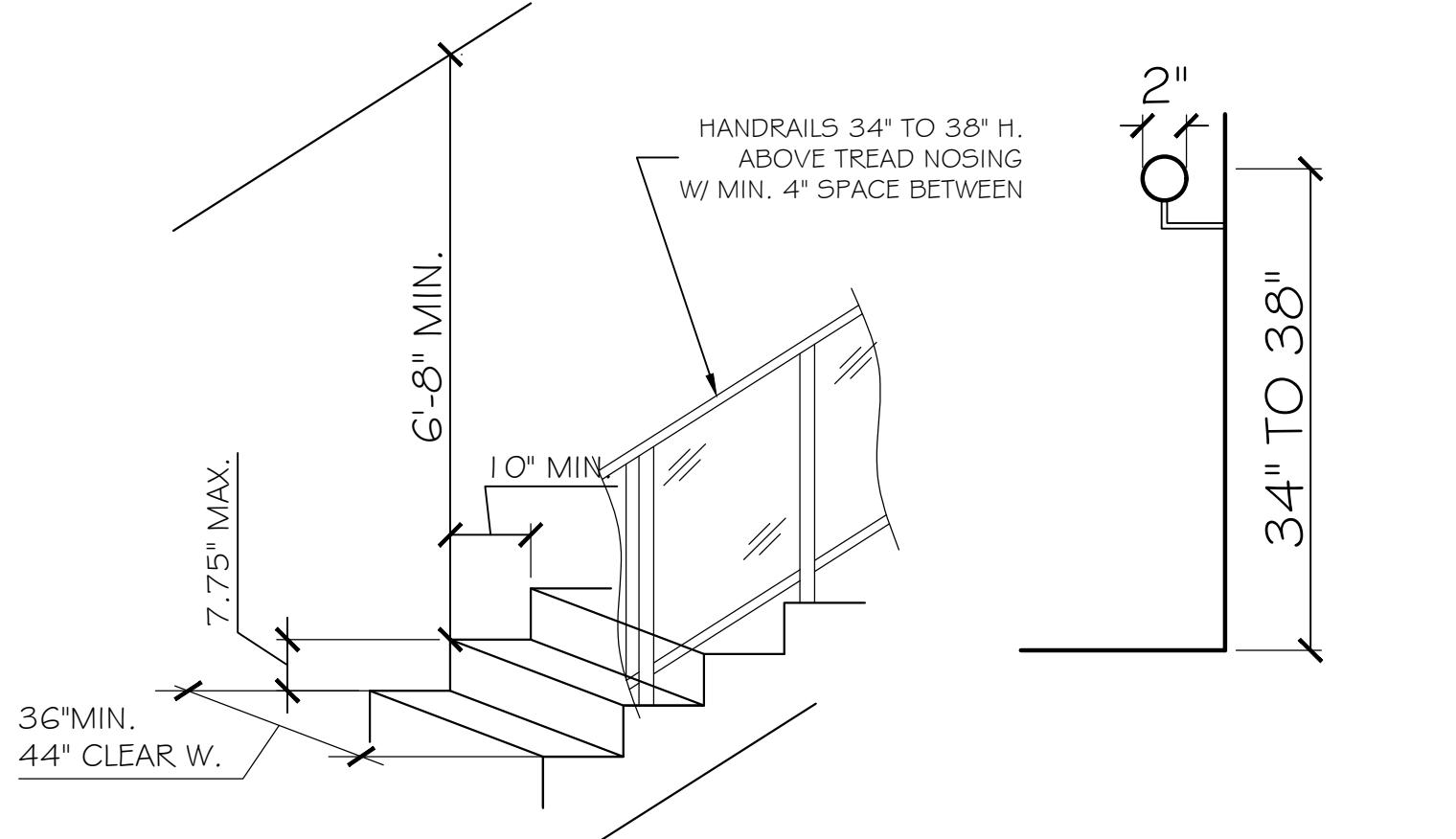
SLIDING DOOR HEAD JAMB SIM. 6



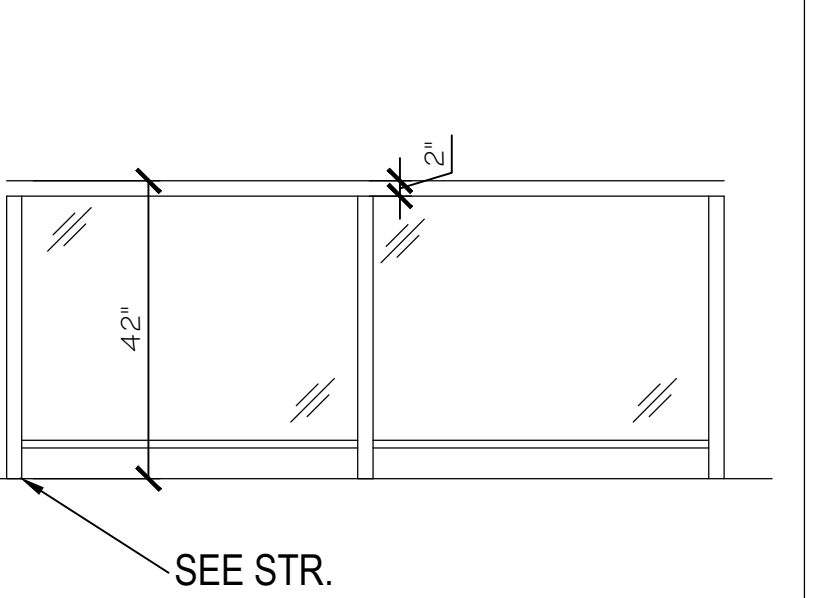
WEEP SCREEN DETAIL 7



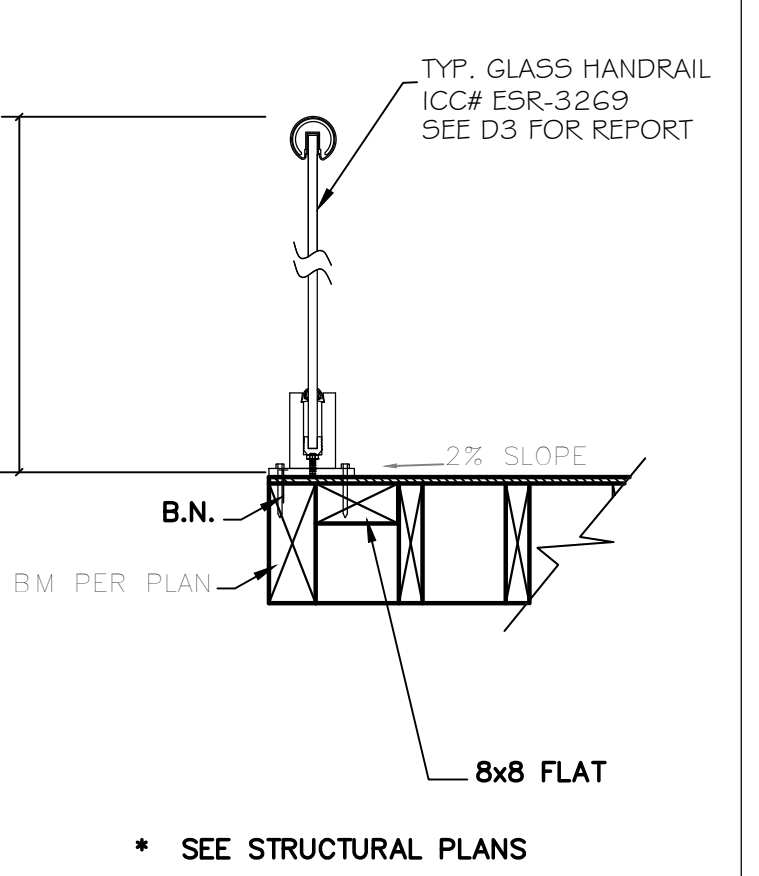
TILE DETAIL 8



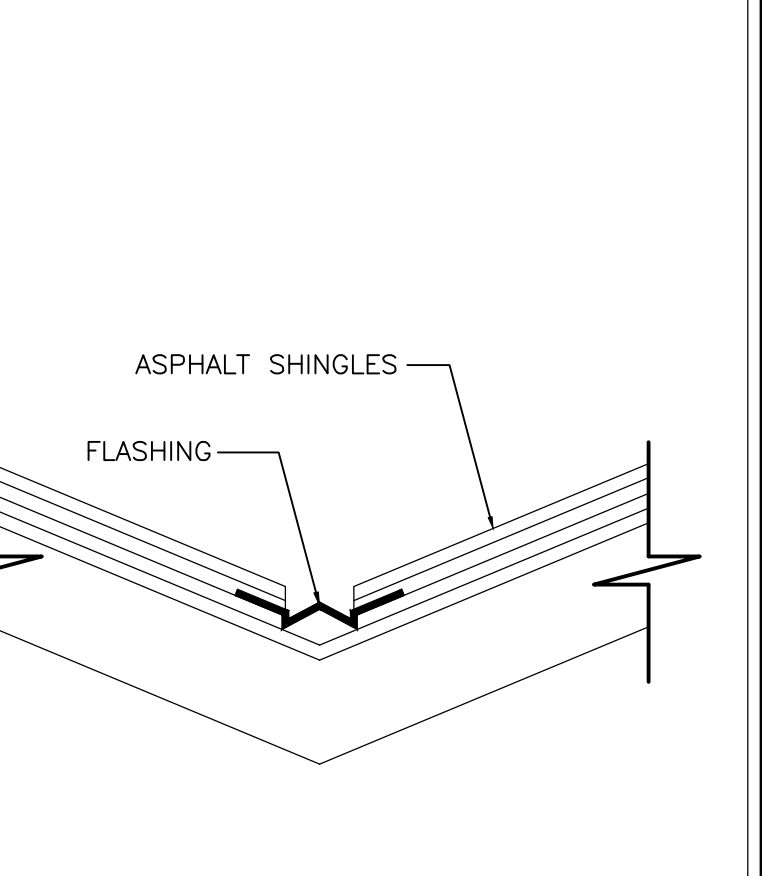
STAIR DETAIL 10



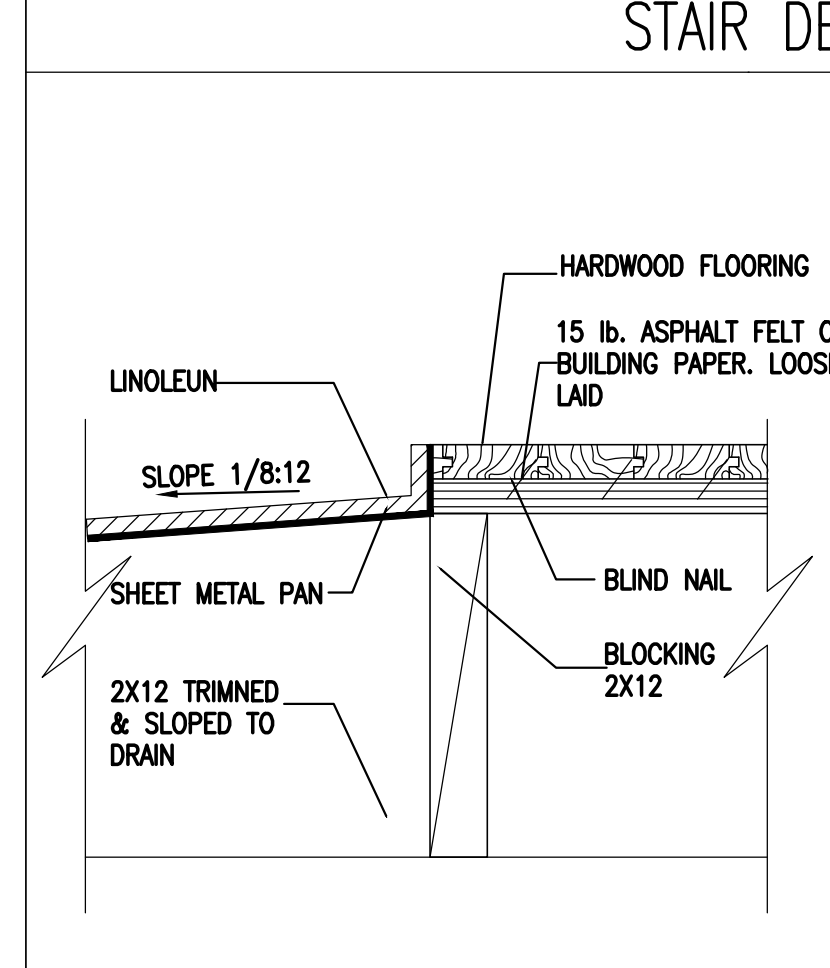
RAIL DETAIL 11



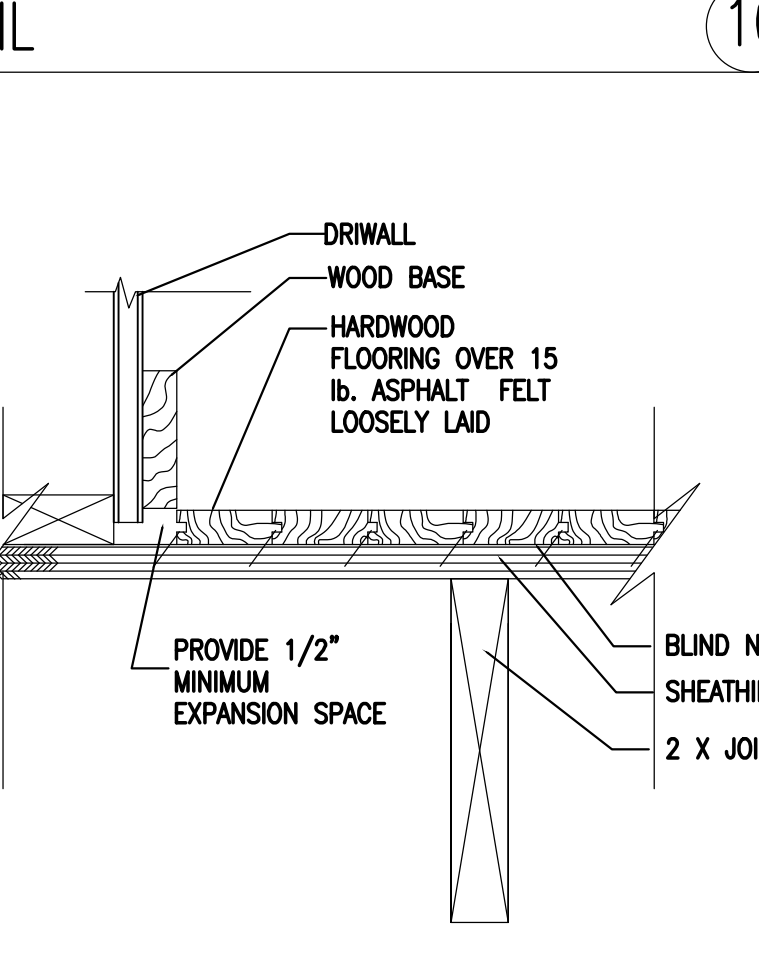
TYP. GLASS HANDRAIL 12



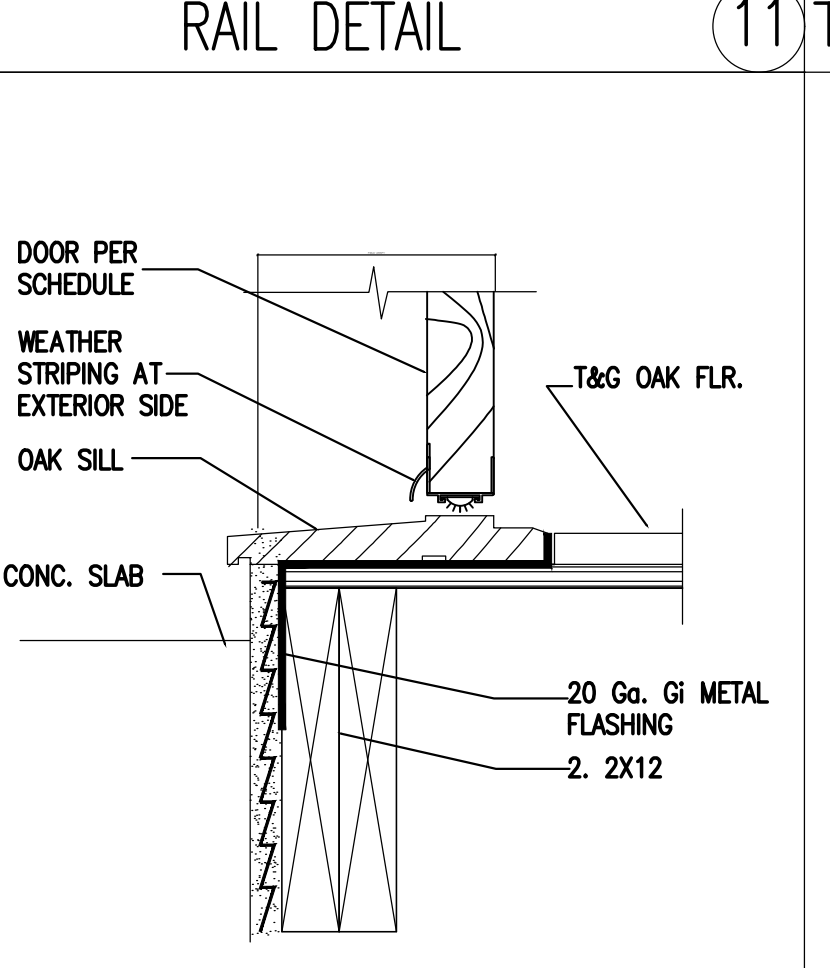
VALLEY FLASHING 13



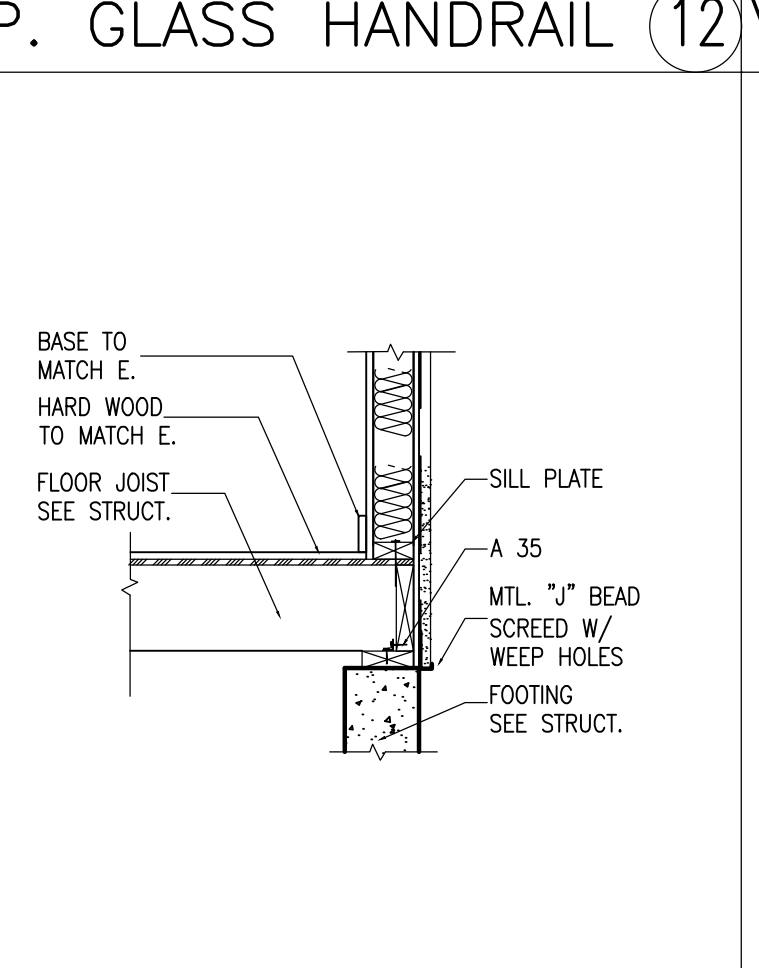
METAL PAN AT WASHER 15



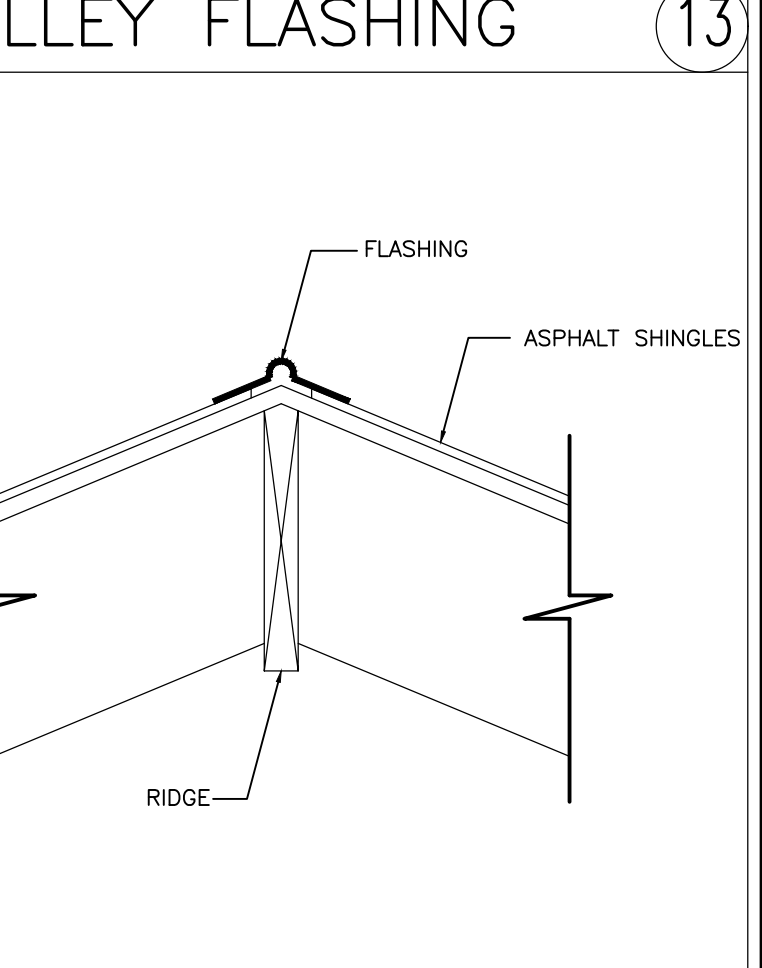
HARDWOOD FLOORING 16



EXT. DOOR SILL 17



TYP. EXT. WALL 18



RIDGE FLASHING 19



DESIGN:
C-OLIVEIRA DESIGN
3680 WILSHIRE BLVD, STE P04-1341
LOS ANGELES, CA 90010
415-793-9492
CAMILLA.ODESIGN@GMAIL.COM
www.coliveiradesign.com

3401 S. PATTON AVE.
SAN PEDRO, CA 90731

DETAILS

DATE: 10/22/2020

SCALE: AS SHOWN

REVISION:	
△	
△	
△	
△	

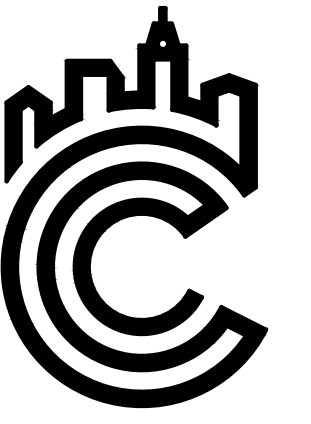
PROJECT #: 19-133

DRAWN BY: MS

SHEET
D1



NORTH ELEVATION
NTS.



DESIGN:
 C-OLIVEIRA DESIGN
 3680 WILSHIRE BLVD., STE P04-1341
 LOS ANGELES, CA 90010
 415-793-9492
 CAMILLA.ODESIGN@GMAIL.COM
 www.coliveiradesign.com

**3401 S. PATTON AVE.
 SAN PEDRO, CA 90731**

3D RENDER

DATE: 1/27/2021

SCALE: AS SHOWN

REVISION:

△		
△		
△		
△		

PROJECT #: 19-133

DRAWN BY: MS

SHEET
D4

ANDREW PHILIP MENZES

423 West 20th Street
San Pedro, CA 90731
P: 3107554559
macksgeemail@gmail.com

Invoice
Estimate # 12019
Date: Jun 27, 2019
Due date: Jul 11, 2019

Bill To
Coastal SPNC
ATTN: Treasurer, Coastal SPNC
1840 S. Gaffey Street #34
San Pedro, CA 90731
cspnc.org

#	Item	Qty	Unit cost	Amount
1	Coastal Meeting July18-Dec18 Flat rate for keys, tables, chairs and audio(Ended 1/1/2019)	6	\$195.00	\$1,170.00
2	Equipment Pickup & Delivery Hourly Jan 2019 - Jun 2019 6 Months @ .5hrs each	3	\$50.00	\$150.00
3	Business Hours Key Pickup Jan 2019 - Jun 2019	6	\$50.00	\$300.00
4	Strike/ Set Hourly Jan 2019 - June 2019 Mtg Setup and Cleanup	6	\$50.00	\$300.00
5	Audio Tech Hourly Jan. Mtg Adj @ 8pm	1.5	\$65.00	\$97.50
6	Audio Tech Hourly Feb. Mtg Adj @ 10pm	3.5	\$65.00	\$227.50
7	Audio Tech Hourly Mar. Mtg Adj @ 830pm	2	\$65.00	\$130.00
8	Audio Tech Hourly Apr. Mtg Adj @ 930pm	3	\$65.00	\$195.00
9	**Estimated Audio Tech Hourly** May Mtg Estimate based on Jan-Apr19 hours	2.5	\$65.00	\$162.50
10	**Estimated Audio Tech Hourly** June Mtg Estimate based on Jan-Apr19 hours	2.5	\$65.00	\$162.50

Notes: This Detailed Estimate is Intended for The CSPNC
Budget and Finance Committee and is for Reference Only.

Subtotal: \$2,895.00

Payment Options
Make checks payable to
Andrew Philip Menzes

Total: \$2,895.00

ANDREW PHILIP MENZES

423 West 20th Street
San Pedro, CA 90731
P: 3107554559
macksgeemail@gmail.com

Invoice
Invoice # 22018
Date: Apr 24, 2019
Due date: Jun 23, 2019

Bill To
Coastal SPNC
ATTN: Treasurer, Coastal SPNC
1840 S. Gaffey Street #34
San Pedro, CA 90731
cspnc.org

#	Item	Qty	Unit cost	Amount
1	Coastal Meeting Flat Rate	6	\$195.00	\$1,170.00
2	Audio Tech Hourly	15	\$65.00	\$975.00
3	Equipment Pickup & Delivery	3	\$50.00	\$150.00
4	Strike / Set Hourly	6	\$50.00	\$300.00
5	Business Hours Key Pickup	6	\$50.00	\$300.00

Notes:

Subtotal: \$2,895.00

Payment Options

Make checks payable to
Andrew Philip Menzes

Total: \$2,895.00

Paid: \$0.00

Balance Due: \$2,895.00

