

BOARD AND STAKEHOLDER MEETING AGENDA

Monday 15 March 2021 6:15 PM

Zoom Electronic Meeting Online or by Telephone

To join the meeting:

By computer, use Zoom from this URL: https://zoom.us/j/92904255148

or

By telephone, **dial: 669-900-6833** then enter ID: **929 0425 5148** and **press #** (or dial a toll-free number: **833-548-0282**, **888-475-4499**, **877-853-5257**, or **833-548-0276**)

In conformity with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the Coastal San Pedro Neighborhood Council meeting will be conducted entirely telephonically.

Every person wishing to address the Neighborhood Council may use URL https://zoom.us/j/92904255148 to use the Zoom application, or may use a telephone by dialling 669-900-6833 or one of the following toll-free numbers: 833-548-0282, 888-475-4499, 877-853-5257, 833-548-0276. After dialing in on a telephone, enter 929 0425 5148 and then press # to join the meeting. Instructions on how to sign up for public comment will be given to listeners at the start of the meeting.

PUBLIC INPUT AT NEIGHBORHOOD COUNCIL MEETINGS — The public is requested to dial *9, when prompted by the presiding officer, to address the assembly on any agenda item before action is take on an item. Comments from the public on agenda items will be heard only when the respective item is being considered. Comments from the public on other matters not appearing on the agenda that are within the assembly's jurisdiction will be heard during the General Public Comment period. Please note that under the Brown Act, the assembly is prevented from acting on a matter that you bring to its attention during the General Public Comment period; however, the issue raised by a member of the public may become the subject of a future meeting. Public comment may be limited to a fixed time per speaker or a limited number of speakers by the presiding officer of the assembly. Those wishing to make comment, but not wanting to speak publicly, may submit written communications to the Board.

- Technical checkout for online meeting (no substantive discussion or comment) [15 minutes] [Board members and public are welcome to check to make sure telephone or computer access is working properly. NOTE: no comment or discussion relevant to Board matters is permitted — please reserve substantive comment for periods of public comment and agenda items.]
- 2. Public comment on non-agenda items.
- 3. Call to order and roll call.
- 4. Board member comment on non-agenda items. [May include comment on Board members' own activities/brief announcements; brief response to statements made or questions posed by persons exercising their general public comment rights or asking questions for clarification; introduction of new issues for consideration by the Board at its next meeting; or requests for research and a report back to the Board.]
- 5. Approval of prior meeting minutes.
- 6. Report from Los Angeles Police Department [5 minutes]
- 7. Neighborhood Purpose Grant program update
- 8. Motion recommending doubling the budget of the City Ethics Commission.
- 9. Motion recommending improvements to Gaffey Street Overlook.
- 10. Motion regarding public access around and the natural restoration of Fromhold Field.
- 11. Motion to support CF 20-21-0002 S21 in opposition to SB 10.
- 12. Motion to support proposed project at 3401 Patton Ave.
- 13. Committee reports.
- 14. Treasurer's report.

Budget and Finance (Consent Calendar)

- 15. Approval of Monthly Expenditure Reports for February.
- 16. Approval of Monthly Expenses, including approval of Treasurer's payment of all recurring Neighborhood Council expenses including (but not limited to) Lloyd Staffing, The Mailroom, and office supplies.
- 17. Approval of funding requests received from committees.
- 18. The Coastal San Pedro Neighborhood Council authorizes payment to Andrew Menzies in the amount of \$5,790.00 for invoices #12019 and #22018 for fiscal year 2019. *[Invoices attached]*
- 19. Appointments of committee officers, committee members, and Board representatives, including but not limited to appointing Danielle Ramos to the following committees: Administrative Operations, Communications, Elections, Emergency Preparedness and Public Safety, Environment and Sustainability, Parks and Coastline, Planning and Transportation, Port, and the appointment of Sheryl Akerblom as Budget Representative (replacing Doug Epperhart).
- 20. Announcements.
- 21. Public comment on non-agenda items.
- 22. Adjournment.

8. Motion recommending doubling the budget of the City Ethics Commission.

Administrative Operations Committee

The Coastal San Pedro Neighborhood Council supports doubling the budget of the City Ethics Commission from approximately \$3.69M to \$7M.

CSPNC shall file a Community Impact Statement

9. Motion recommending improvements to Gaffey Street Overlook.

Coastline and Parks Committee

Whereas, the Lookout Point Park (commonly known as the Gaffey Street Overlook) parking lot on Gaffey Street at 35th Street has been a long-time public nuisance, as people stay past curfew hours well into the early morning. Based on numerous reports from community members and from members of the Los Angeles Police Department, the parking lot is a source of illegal and disruptive activities after park hours that have interfered with the comfortable enjoyment of life and property to the neighbors living near the park and to the park itself;

Whereas, the parking lot is also a preferred area for loud vehicle road racing and donut tire skidding due to the additional width of Gaffey Street at that location (Gaffey Street is approximately 88 feet wide at the parking lot, compared to the normal Gaffey Street width of 47 feet, which includes parallel street parking on both sides);

Whereas, LAPD has complained that when, on occasion, they clear the parking lot during the posted closure hours of 10:30 pm to 5:30 am, disruptive activities soon resume thereafter; and

Whereas, LAPD has indicated that the disruptive nighttime activity at the parking lot is due to people who drive to the parking lot, as opposed to pedestrians;

Therefore Be It Resolved that, in order to improve the quality of life for nearby residents, provide night-time security and road safety, and reduce the need for night-time LAPD calls to the park, the Coastal San Pedro Neighborhood Council urgently requests that the City Department of Recreation and Parks, in conjunction with the City Department of Transportation, develop and implement an access/enclosure system for the Gaffey Street Overlook parking lot to restrict parking during the posted closure hours of 10:30 p.m. to 5:30 a.m. Such system should: (a) be aesthetically pleasing and not restrict views from the park; (b) not impinge on the pedestrian sidewalk between the parking lot and the park; (c) preserve the existing number of parking spaces in the lot for use during the park's normal opening hours; and (d) include hazard lights, reflectors, or other safety features aimed at reducing night-time travel speeds along the portion of Gaffey Street paralleling the parking lot.

Community Impact Statement to be transmitted to: Council District 15, Los Angeles Department of Transportation, Los Angeles Police Department, Los Angeles Department of Parks and Recreation

10. Motion regarding public access around and the natural restoration of Fromhold Field.

Coastline and Parks Committee

Whereas the California Coastal Act Section 30210 Access; recreational opportunities; posting states:

In carrying out the requirement of Section 4 of Article X of the California Constitution, maximum access, which shall be conspicuously posted, and recreational opportunities shall be provided for all the people consistent with public safety needs and the need to protect public rights, rights of private property owners, and natural resource areas from overuse, and

Whereas, The constant watering of the playing field at Fromhold Field is jeopardizing the natural cliff conditions that prevail in the White Point Area, and is in close proximity to the Paseo del Mar road closure due to the land slide, and

Whereas, Mary Star has their own baseball field and sufficient area to expand their sports activities; thus there is no need for them to privatize this area of public land,

Resolved, the Coastal San Pedro Neighborhood Council requests that the County make public access from all entry points around Fromhold field available to support the visitor serving qualities of this unique and beautiful Coastal view area, and

Further resolved, Coastal San Pedro Neighborhood Council requests restoring the area to its natural condition by removing the baseball field fences, bleachers, and other associated equipment, and then restoring the area with native plants.

11. Motion to support CF 20-21-0002 S21 in opposition to SB 10.

Planning, Land Use, and Transportation Committee

Whereas SB 10 is another attempt by the State to force upzoning on local entities. SB 10 would allow the City to upzone by right a parcel currently zoned for a single family to allow 10 units without CEQA review if: a) it is within one-half mile of a major transit stop or on a "high quality" bus corridor, b) it is in a "jobs rich" area, or c) it is an "urban infill site." This would duplicate some of the provisions of the City's TOC program without the TOC requirements for affordable housing.

Whereas SB 10 is another example of the State Legislature seeking to take land use planning away from local government, may destroy the character of our neighborhoods, has the potential to overwhelm our infrastructure, and does nothing to address the lack of affordable housing. Indeed, it may push land costs even higher.

Whereas SB 10 would create additional bureaucracy by requiring the state to develop and update a map of "job rich" areas every 5 years.

Whereas support of CF 20-21-0002 S21 by Councilmember Koretz would include opposition to SB 10 in the City's Legislative platform, thus instructing the City's Lobbyists to actively to oppose it.

Therefore Be It Resolved that the Coastal San Pedro Neighborhood Council supports the City Council's motion CF 20-21-0002 S21 to include opposition to SB 10 in the City's legislative platform.

CSPNC shall file a Community Impact Statement

12. Motion to support proposed project at 3401 Patton Ave.

Planning, Land Use, and Transportation Committee

[See attached architectural submission]

Resolved, the Coastal San Pedro Neighborhood Council supports approval of the proposed project at 3401 Patton Ave.

CSPNC shall file a Community Impact Statement

For more information, please call 310-918-8650; write to CSPNC, 1840 S. Gaffey Street #34, San Pedro, CA 90731; or visit the Coastal San Pedro Neighborhood Council website at www.cspnc.org.

STATE OF CALIFORNIA PENAL CODE SECTION 403 (Amended by Stats. 1994, Ch. 923, Sec. 159. Effective January 1, 1995.) — Every person who, without authority of law, willfully disturbs or breaks up any assembly or meeting that is not unlawful in its character, other than an assembly or meeting referred to in Section 302 of the Penal Code or Section 18340 of the Elections Code, is guilty of a misdemeanor.

NOTICE TO PAID REPRESENTATIVES — If you are compensated to monitor, attend, or speak at this meeting, City law may require you to register as a lobbyist and report your activity. See Los Angeles Municipal Code §§48.01 et seq. More information is available at ethics.lacity.org/lobbying. For assistance, please contact the Ethics Commission at (213) 978-1960 or ethics.commission@lacity.org

PUBLIC ACCESS OF RECORDS — In compliance with government code section 54957.5, non-exempt writings that are distributed to all or a majority of the Board members in advance of a meeting may be viewed at 1840 S Gaffey St, San Pedro, CA 90731, at our website: http://www.cspnc.org, or at a scheduled meeting. In addition if you would like a copy of any record related to an item on the Agenda, please contact the Coastal San Pedro Neighborhood Council at 310-918-8650.

PUBLIC POSTING OF AGENDAS — Coastal San Pedro Neighborhood Council agendas are posted for public review as follows: 1840 S Gaffey St, San Pedro, CA 90731 and http://www.cspnc.org You can also receive our agendas via email by subscribing to L.A. City's Early Notification System at: http://www.lacity.org/government/Subscriptions/NeighborhoodCouncils/index.htm

RECONSIDERATION AND GRIEVANCE PROCESS — For information on the Coastal San Pedro Neighborhood Council's process for board action reconsideration, stakeholder grievance policy, or any other procedural matters related to this Council, please consult the CSPNC Bylaws. The Bylaws are available at our Board meetings and our website http://www.cspnc.org

THE AMERICAN WITH DISABILITIES ACT — As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and upon request will provide reasonable accommodation to ensure equal access to its programs, services, and activities. Sign language interpreters, assisted listening devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability of services please make your request at least 3 business days (72 hours) prior to the meeting by contacting the CSPNC secretary at 310-918-8650.

SERVICIOS DE TRADUCCION — Si requiere servicios de traducción, favor de avisar al Concejo Vecinal 3 días de trabajo (72 horas) antes del evento. Por favor contacte a the CSPNC Secretary, al 310-918-8650 por correo electrónico board@cspnc.org para avisar al Concejo Vecinal.

3401 S. PATTON AVE. SAN PEDRO, CA 90731

LEGAL INFORMATION

Address/Legal SITE ADDRESS ZIP CODE PIN NUMBER LOT/PARCEL AREA THOMAS BROTHERS GRID ASSESSOR PARCEL NO. (APN) TRACT MAP REFERENCE BLOCK LOT ARB (LOT CUT REFERENCE) MAP SHEET JURISDICTIONAL COMMUNITY PLAN AREA AREA PLANNING COMMISSION NEIGHBORHOOD COUNCIL COUNCIL DISTRICT CENSUS TRACT # LADBS DISTRICT OFFICE ZONING FRONT SETBACK (REQUIRED FRONT SETBACK PROVIDED SIDE SETBACK REQUIRED SIDE SETBACK PROVIDED REAR SETBACK REQUIRED REAR SETBACK PROVIDED

3401 S PATTON AVE. 90731 009B193 768 6,442.3 SQ. FT. PAGE 853 - GRID JI 7470021021 P M 5841 BK 214-45/46 NONE С NONE 009Bl93

SAN PEDRO HARBOR COASTAL SAN PEDRO CD 15 - JOE BUSCAINO 2975.00 SAN PEDRO R1-1XL 21'-0" MIN 78'-11" 6'-0" MIN 24'-6", 6'-0", 6'-8" 15'-0" 15'-0"

BUILDING CODE : ZONING: OCCUPANCY: CONSTRUCTION: SPRINKLERED: LOT COVERAGE:

2020 CBC, LAMC R1 - 1XL R3/U TYPE VB YES

26.7% PARKING SPACE PROVIDED : 2 PARK NUMBER OF STORIES (SFD): 2 STOR

HEIGHT OF SFD: 25'-0"

MAX. HEIGHT OF SFD BUILDING:

30'-0" - WITH R. 26'-0" - SAN PEI

CONSULTANTS

DESIGNER -----

C-OLIVEIRA DESIGN INC. 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com

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PROJECT

PROJECT SUMMARY

C, 2020 GBC, 2020 IBC	RESIDENTIAL "RFA"	SFD	IST FLOOR AREA: 2ND FLOOR AREA: COVERED PATIO AREA: H>14FT CEILING AREA: GARAGE (380-400)	949.00 SF. 369.00 SF. 34.00 SF. 0 SF. 0 SF.	W-1 W-2 W-3 L-4 L-5
			TOTAL FLOOR AREA: STAIRS:	1,352.00 SF. 31.00 SF.	L <u>-5</u>
			MAX ALLOWED RFA: 6,442.3 SF X 45% = 2,8	99.03	L-5
			TOTAL FLOOR AREA:	1,352.00 SF	L <u>-5</u> S_0
XING SPACE Y	BUILDING	SFD	IST FLOOR AREA: 2ND FLOOR AREA: COVERED PATIO AREA: H>14FT CEILING AREA: STAIRS AREA: TOTAL FLOOR AREA:	949 SF 369 SF 34 SF. 0 SF. 31 SF.	<u>S-0</u> <u>S-0</u> <u>S-1</u> <u>S-1</u> <u>S-1</u> <u>S-1</u> <u>S-2</u>
ROOF SLOPE LESS THAN 25% (LADBS) DRO SPECIFIC PLAN			TOTAL FLOOR AREA:	1,383.00 SF	<u>S-2</u> <u>S-2</u>
	SCHOOL		IST FLOOR AREA: 2ND FLOOR AREA:	1,008.00 SF 446.00 SF	- <u>S-2</u> <u>S-2</u>
	DISTRICT	SFD	GARAGE AREA: COVERED AREA:	407 SF 34 SF	
			TOTAL FLOOR AREA:	1,454.00 SF	
			IST FLOOR AREA: 2ND FLOOR AREA:	949 SF 369 SF	
	ZONING	SFD	TOTAL FLOOR AREA:	1,318 SF	
			TOTAL FLOOR AREA:	1,318 SF	-
	FAR		LAMC SECTION 12.21.1A(!) BUILDABLE AREA: 3,447 SQ. FT. X 3 = 10,341 SQ. FT. FOR RA, RE, RS, AND RI ZONED PROPERTIES IN A COASTAL ZONE NOT LOCATED IN A HILLSIDE AREA, AS DEFINED IN SECTION 12.03 OF THIS CODE, THE TOTAL FLOOR AREA CONTAINED IN ALL THE MAIN BUILDINGS ON A LOT SHALL NOT EXCEED THREE TIMES THE BUILDABLE AREA OF THE LOT.		
	SC		E OF WORK		rih Dr
	PROPOSED GARAGE AI		ORY BUILDING (SFD), WITH ATTACHED DECK		
	SFD TO BE I	FULLY SPR	INKLERED. "SPRINKLER NFPA 13D"		

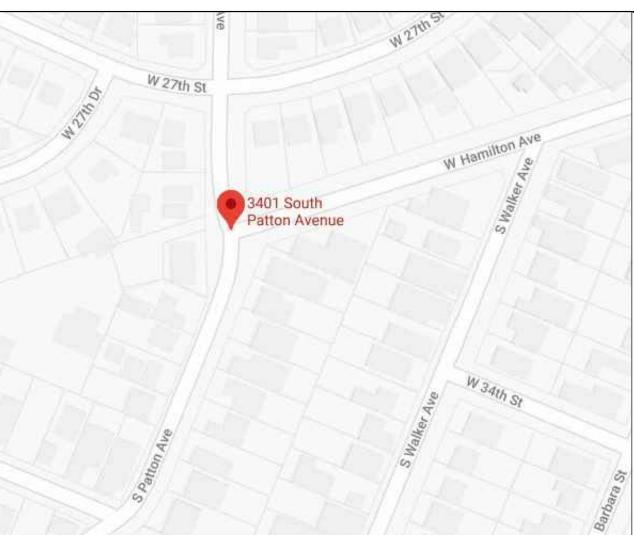
SHEET INDEX

SHEET #	TITLE
AO	SHEET INDEX, PROJECT SUMMARY
A0.1	GENERAL NOTES
G1	GREEN FORMS
A1	SITE PLAN
A1.1	PREVAILING SETBACK CALCULATIONS
A2	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A3	ROOF FLOOR PLAN
A4	ELEVATIONS
A4.1	ELEVATIONS
A5	BUILDING SECTIONS
A6 D1	DOOR & WINDOW SCHEDULE
	DETAILS
D2 D3	DETAILS
D3 D4	DETAILS
TOPO	TOPOGRAPHIC SURVEY
<u>1090</u> T–1	TITLE 24
T-2	TITLE 24
<u>1–2</u> T–3	TITLE 24
<u>T 3</u> T–4	TITLE 24
₩—0	LID COVER SHEET
W-1	LID SITE PLAN
W-2	LID ROOF PLAN
W-3	LID ELEVATIONS
L-4.1	PLANTING PLANS
L-5.1	IRRIGATION PLAN
L-5.2	HYDROZONE PLAN
L-5.3	LANDSCAPE NOTES
L-5.4	LANDSCAPE DETAILS
L-5.5	LANDSCAPE DETAILS
S-0	STRUCTURAL COVER SHEET
S-0.1	STRUCTURAL NOTES
S-0.2	STRUCTURAL NOTES
<u>S-1.0</u>	FOUNDATION PLAN
<u>S-1.1</u>	FIRST FLOOR CEILING PLAN
<u>S-1.2</u>	SECOND FLOOR CEILING PLAN
<u>S-1.3</u>	ROOF FRAMING PLAN
<u>S-2.0</u>	STRUCTURAL DETAILS
<u>S-2.1</u>	STRUCTURAL DETAILS
<u>S-2.2</u>	STRUCTURAL DETAILS
<u>S-2.3</u> S-2.4	STRUCTURAL DETAILS
N _ 7 A	ISTRUCTURAL DETAILS

OWNER

NINO BISIGNANO 3401 PATTON AVE SAN PEDRO, CA 90731

VICINITY MAP



· · · · · · · · · · · · · · · · · · ·
DESIGN: C-OLIVEIRA DESIGN C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
COVER SHEET
DATE: 10/22/2020 SCALE: NTS REVISION:

PART I

natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to

provide an average illumination of 10 footcandles over the area o fthe

room at a height of 30 inches above the floor level. (1205.1 and 1205.3)

8. Attic ventilation of 1/150 of the area of ventilated space

19. Show minimum 18" x 24" under floor access opening, 2306.3

(approximately 10 sq. in. for each 10 sq. ft. of attic area) is required. (1505.3)

Under-floor ventilation shall be not less than 1/150 of under floor

20. Add note "Provide 70 inch high non-absorbent wall adjacent to shower

and approved shatter-resistant materials for shower enclosure." (807.1.3,

H. INTERIOR ENVIRONMENT

AREA AND OCCUPANCY

K. GENERAL REQUIREMENTS

2406.4(5), 1115B.9.6, 7, 8)

area. (2306)

PART II

BUILDING CODE REQUIREMENTS A. GENERAL REQUIREMENTS

16. NDTE: Every space intended for human occupancy shall be provided with NOTES:

A-. For residential pool show the pool enclosure on the plan of the barrier shall be at least 60 inches above grade meas the side of the barrier that faces away from the swimming max, vertical clearance between grade and the bottom of t shall be two inches measured on the side of the barrier th away from the Swimming pool. The gate shall open outward aw the pool and shall be self-closing and self-latching. The latc minimum 4.5 ft above the ground. (3109.4.1, 6109.1)

B-. The construction shall not restrict a five-foot clear a unobstructed access to any water or power distribution fa (Power poles, pull-boxes, transformers, vaults, pumps, valves appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines or not the lines are located on the property. Failure to co cause construction delays and/or additional expenses.

C-. An approved Seismic Gas Shutoff Valve will be installed gas line on the down stream side of the utility meter and connected to the exterior of the building or structure cor fuel gas piping." (Per Ordinance 170,158) (Includes Commercial and TI work over \$10,000.) Separate plumbing permit is requir

D-. Plumbing fixtures are required to be connected to a same sewer or to an approved sewage disposal system (R306.3).

E-. Provide an alarm for doors to the dwelling that form a the pool enclosure. The alarm shall activate within 7 seconds sound continuously for a min. of 30 seconds when the door It shall automatically reset and be equipped with a manual m deactivate (for 15 secs. max.) for a single opening. The deac switch shall be at least 54" above the floor. (3109.4.1.8)

F-. Suction outlets shall be designed and installed in accord ANSI / APSP-7 (3109.5)

G-. Provide ultra low flush water closets for all new constr Existing shower heads and toilets must be adapted for low consumption.

H-. Provide 70 inch high non-absorbent wall adjacent to show approved shatter-resistant materials for shower enclosure. and 2406.3(5)

Agency. Such label shall state the approved labeling agency product designation and performance grade rating (research not required), 2405.5

J-. Water heater must be strapped to wall (Sec. 507.3, UPC)

K-. For new pool on site, provide an alarm for doors to the that form a part of the pool enclosure. The alarm shall sou continuously for a min. of 30 seconds when the door is oper shall automatically reset and be equipped with a manual mear deactivate (for 15 secs. Max.) For a single opening. The deac switch shall be at least 54" above the floor. P/BC 2008- 014

L-. For new pool on site, provide ant-enetrapment cover me current ASTM or ASME is required for the suction outlets swimming pool, toddler pool and spa for single family dwellings Assembly Bill (AB) No. 2977

M. Kitchen sinks, lavatories, bathtubs, showers, bidets, lau and washing machine outlets shall be provided with hot and and connected to an approved water supply (R306.4)

Bathtub and shower floors, walls above bathtubs with showerhead, and shower compartments shall be finished with nonabsorbent surface. Such wall surfaces shall extend to not less than 6 feet above the floor (R307.2)

D. Plumbing fixtures are required to be connected to a so sewer or to an approved sewage disposal system (R306.3) P. Automatic garage door openers, if provided, shall be list accordance with UL 325.

Q. Smoke detectors shall be provided for all dwelling units for human occupancy, upon the owner's application for a per (\$1,000). (R314.6.2)

Where a permit is required for alterations, repairs or exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning shall be provided with a carbon monoxide alarm in accordance Section R315.1. Carbon monoxide alarms shall only be required

S. Every space intended for human occupancy shall be pro natural light by means of exterior glazed openings in accor with Section R303.1 or shall be provided with artificial light adequate to provide an average illumination of 6 foot-candle | over the area of the room at a height of 30 inches above

A copy of the evaluation report and/or conditions of

B. OCCUPANCY CLASSIFICATION

5. Doors between garage and the dwelling unit shall be set and self-

elatching, solid wood or solid or honeycomb core steel not

inches thick, or have a minimum fire protection rating of 20 (406.1.4)

Garage/ Carports

The proposed building is a Garage and not a carport since it at least 2 sides.

Openings from a private garage directly into a room used for purposes are not permitted (R302.5.1).

Doors between garage and the dwelling unit shall be self-closir self-latching, solid wood or solid or honeycomb core steel not less inches thick, or have a minimum fire protection rating of 20 minute (R302.5.1)

4. The garage shall be separated from the dwelling and its attic accordance with Table R302.6 (R302.6).

5. Ducts penetrating the walls or ceilings separating the dwelling garage shall be constructed of a minimum No. 26 gage sheet steel approved material and there shall be no openings from the ducts in garage (R302.5.2).

Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2008-023)

k. No trellis is permitted within 10 feet of the primary structure.

The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire

stopped per 704A.1.2.

6. Other penetrations of garage/dwelling ceilings and walls are to as required by Section R302.11, Item 4 (R302.5.3).

21. Provide 32' wide doors to all interior accessible rooms. (6304.1) 22. Add note "Water heater must be strapped to wall." (Sec. 507.3, UPC) 23. The following are required for attached U-1 occupancy garage / carport

a. Specify materials of one-hour fire-resistive construction on the garage side for walls and, when supporting an upper floor, ceilings, posts and beam of garage. (302.4 and T 3-B)

b. Doors to be self closing, 1 3/8" solid wood slab or 20 minute rated door assembly. (302.4)

*M. FIRE PROTECTION (LA CITY SPECIFIC)

5. 'Provide fire sprinklers throughout. The Sprinkler System shall be approved by Plumbing Div. prior to installation." (12.21A17(d), 91.506)

Smoke detectors shall be provided as follows: (310.9.1.3,4)

a. In new construction smoke detectors shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room & hallway or area giving access to a sleeping room, and on each story | I-. Unit Skylights shall be labeled by a LA City Approved Lak and basement for dwellings with more than one story.

b. In existing construction smoke detectors may be battery operated, installed in location as specified in a) above.

9. Add note "Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue." (L.A.M.C. 57.20.25)

B. VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) (701A.3.2, 7201.2, 7207)

1. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systèms & construction methods of Chapter 7A and Chapter 72.

a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)

Valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (704A.1.3)

Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (704A.1.5)

d. (Roof)(Attic)(Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 -Inch (6 mm) openings or its equivalent. Vents shall not be installed

in eaves and cornices (704A.2.1, 704A3.2.1, 704A.2.2, 7207.3) a. Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall

be protected by ignition-resistant materials or noncombustible construction | alterations, repairs, or additions, exceeding one thousand do on the exposed underside (704A.2.3)

b. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1)

c. Exterior wall coverings shall extend from the top of foundation to the the specific dwelling unit or sleeping unit for which the per roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between | obtained. (R315.2) rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.2)

d. Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating-glass units with a minimum of one tempered pane, or glass block units, or have a fire- resistance rating of not less than 20 minutes, when tested according to ASTM E 2010, or conform level. (R303.1) to the performance requirements of SFM 12-7A-2 (704A.3.2.2)

Exterior door assemblies shall conform to the performance requirements be made available at the job site of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 ¼ inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2074. (Exception: Noncombustible or exterior fire-retardant

treated wood vehicle access doors) (704A.3.2.3)

Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non combustible or other approved materials per Sec.704A.4.1

g. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition- resistant integrity of exterior walls, or the projection shall be enclosed to the grade (704A.4.2.1)

h. Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (704A.4.2.2, 7207.1)

All utilities, pipes, furnances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction.(7207.2)

	PART III	PART IV
	1. Garage floor surfaces shall be of an approved noncombustible material, and the area used to park vehicles shall be sloped to a drain or toward the main	
	vehicle entry (R309.1).	1. Enclosed accessible space under stairs shall have walls, under-stair surface and ar protected on the enclosed side with 1/2 inch gypsum board. (R302.7)
n. The top sured on pool. The	C. BUILDING HEIGHT LIMITATION	2. All interior and exterior stairways shall be illuminated (R303.6).
he barrier hat faces	 Provide calculations for establishing grade plane as per Section R201. Attach calculations and identify established grade planes on elevations plans and 	 Winder treads shall comply with Section R311.7.3. Spiral stairs shall comply with Section R311.7.9.1.
way from ch to be	site plan. (R201)	5. Ramp slopes shall not exceed 1:12 (8%).(R311.7.3)
nd Icilities	2. Show maximum height of the structure (in feet and stories) from Average height of highest roof surface to grade plane on all elevation views.(R201)	6. Provide 42" high guards with max 4" clear spacing opening between rails at ((R312).
s, meters, e s-whether	3. Lowest level is determined not to be a basement. This level is considered as 1st story above grade plane. Include this story in total building height. (R201)	7. For glass handrails and guards, the panels and their support system shall be desigr withstand the loads specified in Chapter 16. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (2407)
omply may	E. FIRE-RESISTANCE RATED CONSTRUCTION	A. INTERIOR ENVIRONMENT
on the fuel be rigidly ntaining the	distance is:	1. The minimum ceiling height for habitable space, hallways, bathrooms, toilet rooms, and portions of basements containing these spaces shall be not less than 7 feet (R305.1).
additions red.	Less than 5'[T- R302.1 (1)] , or Less than 3'if the building is equipped throughout with an automatic	2. Under-floor ventilation shall be not less than 1/150 of under floor area.
Initary	residential fire sprinkler system installed in accordance with section R313. [T- R302.1	(R408.1)3. Show minimum 18" x 24" under floor access opening. (R408.4)
part of Is and	(2)] 1.1. Provide 1-hr fire-resistance exterior walls for R3/U occupancy less than 5' from property line or assumed property line (T602).	 Attic ventilation of 1/150 of the area of ventilated space (approximately 10 sq. in. for of attic area) is required.(R806.2)
is opened means to ctivation	Provide complete details per Section 704.5 2. Show how 1- hr fire- resistance is being provided.	 Attic area having a clear headroom of 30" must have an access opening (20" x 30"
dance with	3. Openings are not allowed within 3'/ 5'fire separation distance.	6. Provide 15" min. between the center of water closet to any side wall. (Calif. Plumb.
	[T-R302.1(1) & T- R302.1(2)] 4. Maximum 25% opening area are allowed when the fire separation	7. Provide 24" clear space in front of any water closet. (Calif. Plumb. Code 407.6)
ruction. water	distance is >3' and \leq 5'. (T-302.1(1) 5. Projections beyond the exterior wall shall comply with Table R302.1	8. Bathrooms, water closet compartments and other similar rooms shall be provided no mechanical ventilation capable of 50 cfm exhausted directly to the outside (R303.3)
ower and ." (1115B.2	and shall not extend: a. To a point closer than 2 feet from interior lot line.	9. Heater shall be capable of maintaining a minimum room temperature of 68°F at a pa above the floor and 2 feet from exterior walls in all habitable rooms at the design temperat
	b. More than 4 inches at the roof eave for detached garages accessory to a dwelling when located within 2 feet of a lot line.	ZONING:
beling ' name, :h report	c. Over the lot line for accessory structures that are exempt from permits.	27. For new construction, addition or major remodel to any One-Family Dwelling or Acc on a lot in R1, RS, RE, or RA Zones and designated Hillside Area (12.21C.10.):
	6. In combustible construction, fire blocking shall be provided to cut	
é dwelling	off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. (R302.11)	decorative walkways shall be used for planting and shall not be paved. (12.21C10(a)(5))
ound ned. It ns to	1. In combustible construction where there is usable space both above and below the concealed space of a floor/celling assembly,	 On lots fronting a Substandard Hillside Limited Street, open unenclosed stairways, platforms and landing places not covered by a roof or canopy shall not project or extend in yard. (12.21C10(a)(10)(ii))
ctivation 4	draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. (R302.12)	I. BUILDING ENVELOPE
eting the of the		1. Provide a class A, B or C fire-retardant roof covering per Section R902.1.
s per the Indry tubs	2. Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2. Provide detail and copy of listing on the plans.(R302.4.1)	2. Every dwelling unit shall be provided with a water closet, lavatory, bathtub or showe (R306.1 and R306.2).
cold water	3. Membrane penetrations shall comply with Section R302.4.1. Where walls are required to have a fire-resistance rating, recessed fixtures	3. Glazing in the following locations shall be safety glazing conforming to the human ir Section R308.3 (see exceptions) (R308.4):
a a	shall be installed so that the required fire-resistance rating will not be reduced. (R302.4.2)	a. Fixed and operable panels of swinging, sliding and bifold door assemblies.
a helght of	F. FIRE PROTECTION	b. Glazing in an individual fixed or operable panel adjacent to a door where the neare is within a 24-inch arc of the door in a closed position and whose bottom edge is less than
anitary sted in	1. The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.21A17(d))	above the floor or walking surface.c. Glazing in an individual fixed or operable panel that meets all of the following condit
	2. The Sprinkler System shall be approved by Plumbing Div. prior to	 Exposed area of an individual pane greater than 9 square feet.
5 intended ermit for Iollars	installation. 3. An approved smoke alarms shall be installed in each sleeping room	 Bottom edge less than 18 inches above the floor. Top edge greater than 36 inches above the floor. One or more walking surfaces within 36 inches horizontally of the glazing.
additions	& hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate	d. Glazing in railings.
appliances	all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the	e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, showers where the bottom edge of the glazing is less than 60 inches measured vertically a
e with 1 in `mit was	building wiring and shall be equipped with battery back up and low battery signal. (R314)	standing or walking surface.f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tub
ovided with	4. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon	where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.
dance that is	monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity	g. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a surface when the surface of the glazing is less than 60 inches above the plane of the adja
les the floor	of the bedroom(s) and on every level of a dwelling unit including basements. (R315)	 surface. h. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of a stairways within 60 inches horizontally of the bottom tread of stairways within 60 inches horizontally of the bottom tread of stairways within 60 inches horizontally of the bottom tread of stairways within 60 inches horizontally of the bottom tread of stairways within 60 inches horizontally of the
listing shall	 G. MEANS OF EGRESS 1. Provide emergency egress from sleeping rooms. Show details on plans. Min 24" clear ht, 20" 	direction when the exposed surface of the glazing is less than 60 inches above the nose of
	clear width, 5.7 sq.ft min area (5.0 sq ft at grade level) & 44" max to sill. (R310.1)	inches within the first 10 feet (R401.3)
lf-closing	2. Provide minimum 9 sq.ft. window wells (with fixed ladder) at escape and rescue opening windows below grade. (R310.2)	 Dampproofing, where required, shall be installed with materials and as required in S Vehicular access doors shall comply with Section R612.7.
less than 1 minutes.	 At least one door shall be 36" wide by 80" high (R311.2) Provide 32" wide doors to all interior accessible rooms. (6304.1) 	8. Buildings shall have approved address numbers, building numbers or approved buil
	5. The entry /exit door must open over a landing not more than 1.5" below the threshold. Exception:	identification placed in a position that is plainly legible and visible from the street or road fr property. (R319)
•	Providing the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings.(R311.3.1)	 Protection of wood and wood based products from decay shall be provided in the lo specified per Section R317.1 by the use of naturally durable wood or wood that is preserve accordance with AWPA U1 for the species, product,
is not open	6. Landing at a door shall have a length measured in the direction of travel of no less than 36". (R311.3)	preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.
sleeping	7. A landing shall be provided at the top and bottom of stairways. Exception for top of an interior flight of stairs and stairs in an enclosed garage (R311.7.5).	
ng and than 1 3/8	8. Stairway details:	
es.	a.7.75" rise & min. 10" run. (R311.7.4)	
area in	b.Min. 6'-8" headroom clearance. (R311.7.2) c.Min. (36") clear width. (R311.7.1)	
from the or other	d.Handrails 34" to 38" high above tread nosing (R311.7.7.1)	
nto the	e.Handgrip portion of handrail shall not be less than 1.25" and no more than 2" crosssectional dimension having a smooth surface with no sharp corners. (R311.7.7.3)	
be protected		

	PART V	
iy soffits	 Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: Maintenance of building affidavit is recorded by the owner to covenant and agree with the City of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306) 	
	 J. Mansionization Ordinance 1. If the ceiling height exceeds 14 ft, provide floor plans and clearly identify the areas which exceed the above thresholds (with hatching and dimension). The subject areas shall be included in the floor area calculations, except the first 100 sf of the ceiling over 14' need not be included. 	
)	 Covered parking areas shall be included in the floor area, except the first 400 sf. Attached porches, patios, and breezeways with sold roof shall be included in floor area calculations, except the first 250 s.f., when open at least two sides. 	P04-1341 COM
ned to		AAIL AAIL
laundry rooms		IGN: IVEIRA DESIGN WILSHIRE BLVD, S WILSHIRE BLVD, S ANGELES, CA 9001 793-9492 11LA.ODESIGN@GN .coliveiradesign.com
r each 10 sq. ft.		DESIGN C-OLIVE C-OLIVE 3680 WII LOS AN(415-793- CAMILL/ www.coli
min). (R807.1) Code 407.6)		□□□□ ∞ □ 4 0 ≥
atural and		
oint 3 feet ure. (R303.8)		ЧЧ 131 131
essory Building		ON AVE. A 90731
including		
porches, nto the front		S. PAT EDRO
r, and kitchen		
npact loads of		3401 S. SAN PE
st vertical edge 60 inches		
ions:		
bathtubs and above any		
os and spas		LON NO
a walking cent walking		
stairway in any f the tread. num fall of 6		ENERAL
Section R406.1.		
ding onting the		DATE: 10/22/2020
cations ative-treated in		SCALE: NTS
		REVISION:
		 ▲
		PROJECT #: 19-133
		DRAWN BY: MS
		SHEET A0.1

STORM WATER POLLUTION CONTROL

(2020 Los Angeles Green Building Code)

FORM GRN 1

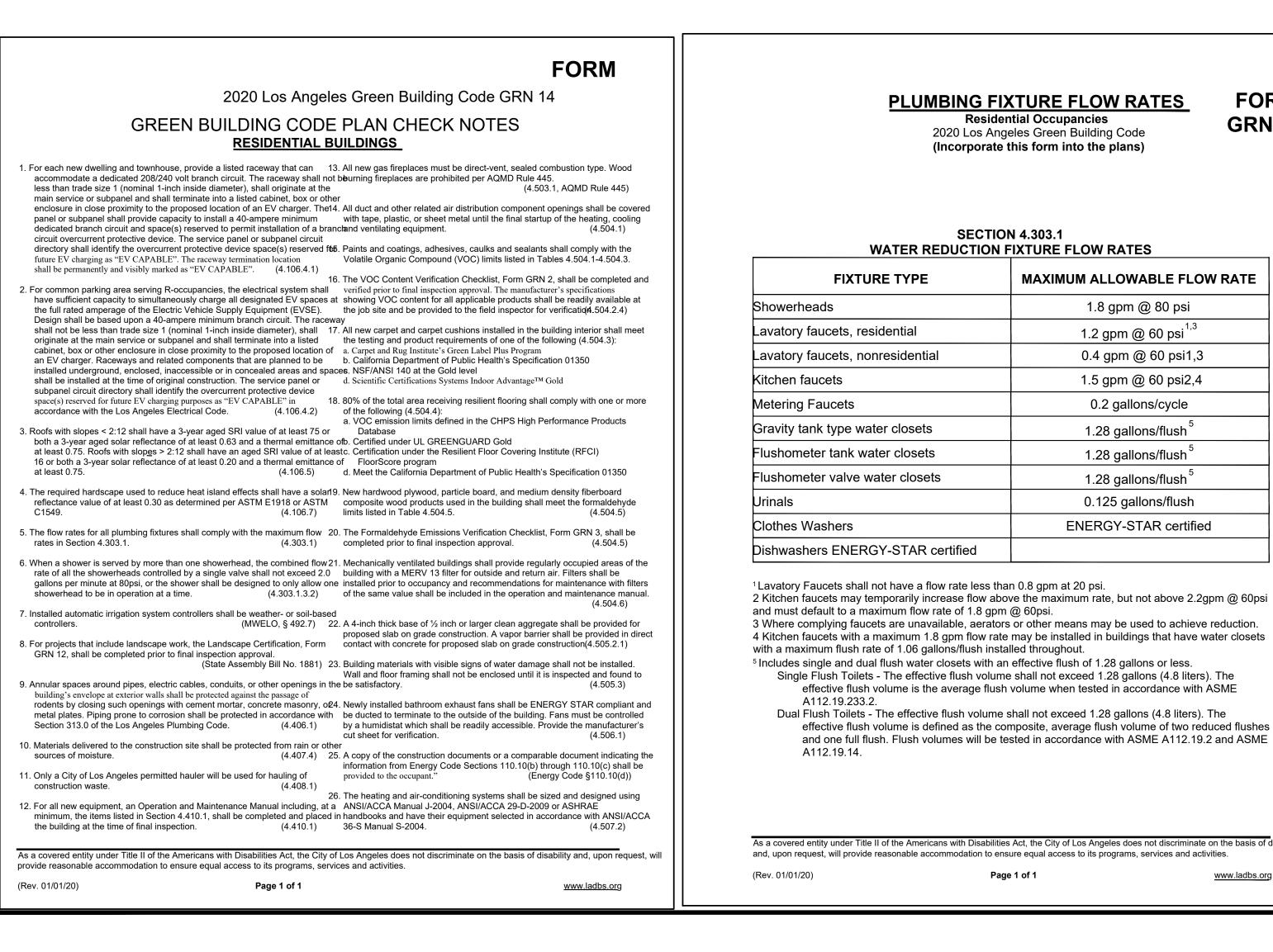
Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction <u>projects.</u>

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- 1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- 2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- 3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- 4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- 5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- 6. Trash and construction -related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- 7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- 8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- 9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, w provide reasonable accommodation to ensure equal access to its programs, services and activities. (Rev. 02/12/2020) (Rev. 01/01/20) Page 1 of 1 www.ladbs.org



MANDATORY REQUIREMENTS CHECKLIST NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

EM #	CODE SECTION	REQUIREMENTS	REFERENCE SHEET (Sheet #) (or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A
		PLANNING AND DESIGN		
14	.106.2	Storm water drainage and retention durin construction	^g G-1	FORM GRN 1
	.106.3	Grading and paving	A-1	SITE PLAN
34	.106.4	Electric vehicle (EV) charging	A-2	FLOOR PLAN
44	.106.5	Cool roof for reduction of heat island effe		GRN 14 #3
54	.106.7	Reduction of heat island effect for non-ro areas	of G-1	GRN 14 #4
		ENERGY EFFICIENCY		
64	.211.4	Solar ready buildings	A-3	EXCEPTION 7
		WATER EFFICIENCY & CONSERVATION		
74	.303.1	Water conserving plumbing fixtures and fittings	G-1	GRN 14 #5
84	.303.1.3.2 N	lultiple showerheads serving one shower	G-1	GRN 14 #6
		r submeters	G-1	GRN 16
10 4	.303.4 Wat	er use reduction	G-1	GRN 18R #2
11 4	.304.1 Out	loor water use in landscape areas	N/A	N/A
12 4	.304.2	Irrigation controllers	L-	LANDSCAPE PLAN
		ering outdoor water use	G-1	GRN 18R #3
14 4	.304.4 Exte	rior faucets	G-1	GRN 18R #5
15 4	l.304.5 Swii	nming pool covers	G-1	GRN 18R #6
		water ready	G-1	GRN 18R #7
		Recycled water supply to fixtures	G-1	GRN 18R #8
18 4	.305.3.1 Co	oling towers (buildings ≤ 25 stories)	G-1	GRN 18R #9
		oling towers (buildings > 25 stories)	N/A	N/A
20 4	1.305.4 Gro	undwater discharge	N/A	N/A
		MATERIAL CONSERVATION & RESOURCE		
		ent proofing	G-1	<u>GRN 14 #9</u>
22 4	1.407.3 Flas	hing details	D-1	DETAILS

Page 1 of 2

FORM GRN 4

2020 Los Angeles Green Building Code

		2020 Los Angeles Green Bui	ilding Code	FORM GRN 4
ITEM #	CODE SECTION	REQUIREMENTS	REFERENCE SHEET (Sheet #) (or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A
		erial protection	G-1	GRN 14 #10
		struction waste reduction	G-1	GRN 14 #11
25 4	I.410.1 Ope	ration and maintenance manual	G-1	GRN 14 #12
		ENVIRONMENTAL QUALITY		
26 4	1.503.1 Fire	places and woodstoves	G-1	GRN 14 #13
27 4	1.504.1	Covering of duct openings and protection mechanical equipment during construction		GRN 14 #14
28 4	1.504.2	Finish material pollutant control	G-1	GRN 14 #15
30 4	1.504.2.1 1.504.2.2 1.504.2.3	Adhesives, sealants, caulks Paints and coatings Aerosol paints and coatings	G-1	GRN 14 #15
32 4	1.504.2.4	Verification	G-1	GRN 14 #16
33 4	I.504.3 Car	bet systems	G-1	GRN 14 #17
34 4	I.504.3.1 Ca	rpet cushion	G-1	GRN 14 #17
35 4	1.504.4	Resilient flooring systems	G-1	GRN 14 #18
36 4	I.504.5 Con	posite wood products	G-1	GRN 14 #19
37 4	1.504.6 Filte	rs	N/A	SFD
38 4	I.505.2.1 Ca	pillary break	N/A	N/A
	1.505.3	Moisture content of building materials	G-1	GRN 14 #23
_		room exhaust fans	A2/A2.1	FLOOR PLAN
41 4	1.507.2	Heating and air-conditioning system desi	gn G-1	GRN 14 #26

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PLUMBING FIXTURE FLOW RATES **Residential Occupancies**

2020 Los Angeles Green Building Code (Incorporate this form into the plans)

FORM

GRN 16

(Rev. 02/12/2020)

provide reasonable accommodation to ensure equal access to its programs, services and activities

SECTION 4.303.1

REDUCTION I	REDUCTION FIXTURE FLOW RATES					
E	MAXIMUM ALLOWABLE FLOW RATE					
	1.8 gpm @ 80 psi					
	1.2 gpm @ 60 psi ^{1,3}					
tial	0.4 gpm @ 60 psi1,3					
	1.5 gpm @ 60 psi2,4					
	0.2 gallons/cycle					
ts	1.28 gallons/flush ⁵					
ets	1.28 gallons/flush ⁵					
sets	1.28 gallons/flush ⁵					
	0.125 gallons/flush					
	ENERGY-STAR certified					
R certified						

¹Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

3 Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

⁵ Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The

effective flush volume is the average flush volume when tested in accordance with ASME

Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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Page 1 of 1

PLUMBING SYSTEM 1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)

2. Water use reduction shall be met by complying with one of the following:

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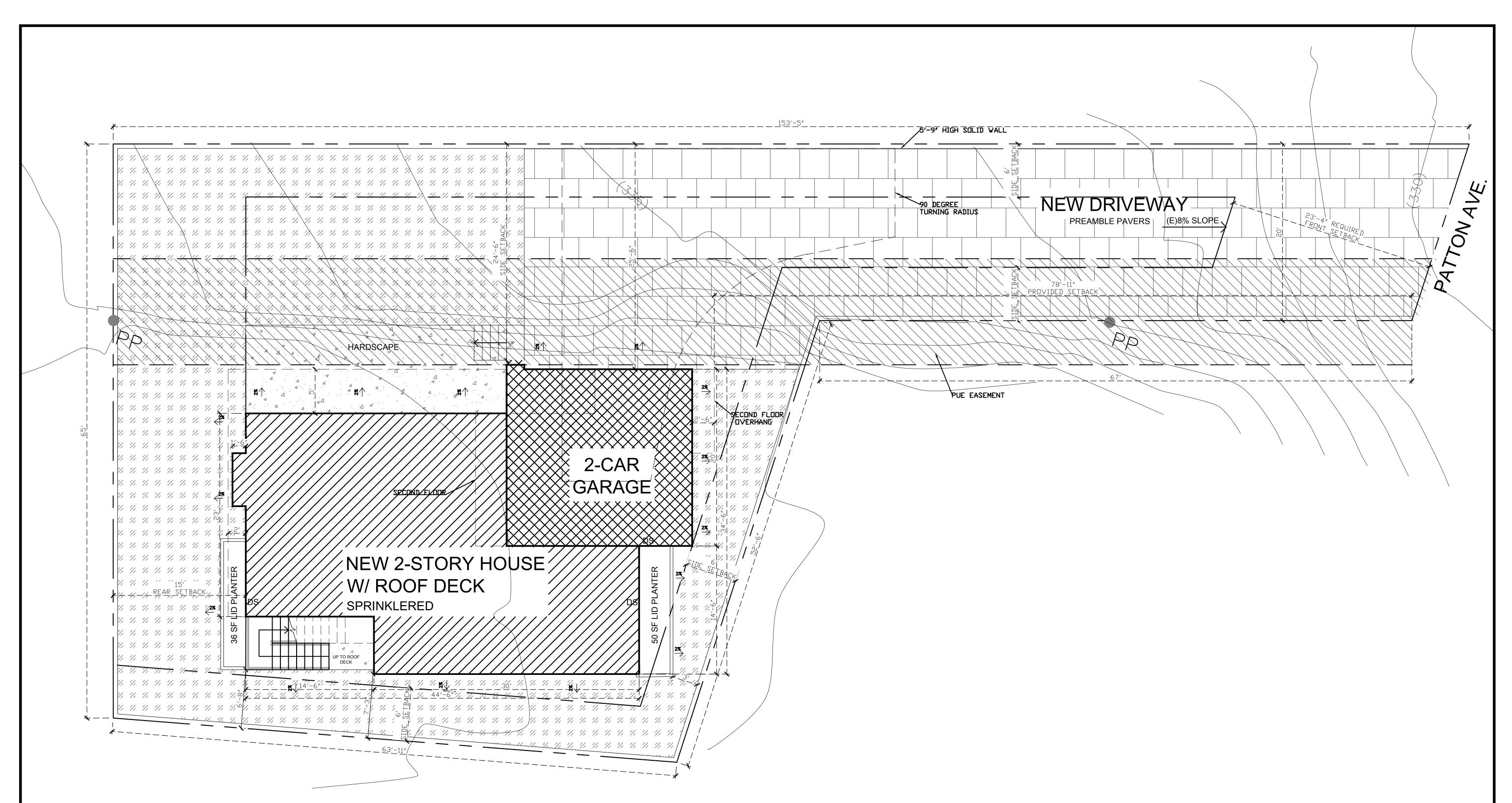
- A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as
- established in Table 4.303.4.1, shall be provided; or B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or
- C. Plumbing fixtures shall use recycled water. (4.303.4)Exception: Fixture replacements
- 3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
- 4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)
- 5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose (4.304.4)
- 6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)
- 7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system(4.305.1)
- 8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)

- 10. In new buildings over 25 stories, the coolin comply with all of the following: A. Shall have a minimum of 6 cycles of co
- (blowdown); and B. 100% of the makeup water supply to th towers shall come from non-potable v including treated backwash.
- 11. Where groundwater is being extracted and develop and construct a system for onsite groundwater. Alternatively, the groundwat discharged to the sewer.
- 12. Provide a hot water system complying with following (Los Angeles Plumbing Code Se A. The hot water system shall not allow me gallons of water to be delivered to any
- hot water arrives. B. Where a hot water recirculation or elect heat trace wire system is installed, the
- recirculating loop or electric resistance to the fixture shall contain a maximur C. Residential units having individual wate have a compact hot water system that following
- a. The hot water supply piping from to the fixtures shall take the mos b. The total developed length of pipe
- heater to farthest fixture shall no distances specified in Table 3.6.5 Energy Code Residential Append
- c. The hot water supply piping shall b insulated in accordance with Sect the California Energy Code Resi

IRRIGATION SYSTEM

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disabili provide reasonable accommodation to ensure equal access to its programs, services and activities (Rev. 01/01/20)

Los Angeles Green B	Building Code	FORM GRN 4		2020 Los Angele	MALDEHYDE LIMITS as Green Building Code s form into the plans)	FORM GRN 11		
JIREMENTS	REFERENCE SHEET (Sheet #)	COMMENTS	2020 Los Angeles Green Bu VOC CONTENT LIMITS FOR ARCH Grams of VOC per Lit Less Water and Less Exe COATING CATEGORY 2,3	ilding Code Tables 4.504.1, 4.50 ITECTURAL COATINGS 2,3 er of Coating,	I.2, 4.504.3, 4.504.5, 5.504.4.1, 5.504.4.2, 5. FORMALDEHYDI Maximum Formaldehyde Emiss PRODUCT Hardwood plywood veneer core	LIMITS1 ons in Parts per Million. CURRENT LIMIT 0.05		
duction nance manual L QUALITY	G-1 G-1 G-1 G-1	(or reason for N/A) GRN 14 #10 GRN 14 #11 GRN 14 #12	Flat coatings Nonflat coatings Nonflat-high gloss coatings Specialty Coatings Aluminum roof coatings Basement specialty coatings Bituminous roof coatings	50 50 50 100 400 50	Hardwood plywood composite core Particleboard Medium density fiberboard Thin medium density fiberboard2 1. Values in this table are derived from those specified Toxics Control Measure for Composite Wood as tester additional information, see California Code of Regulati 93120.12. 2. Thin medium density fiberboard has a maximum thi	ons, Title 17, Sections 93120 through		
toves toves openings and protect	G-1	GRN 14 #13	Bituminous roof primers Bond breakers Concrete curing compounds Concrete curing compounds, Roadways	350 350 100 & 350	2. Thin medium density liberboard has a maximum tink SEALANT VOC Less Water and Less Exempt Com SEALANTS	()		<u> </u>
pment during construct ollutant control		GRN 14 #14 GRN 14 #15	Bridges Concrete/masonry sealers Driveway sealers	100 50	Architectural Marine deck Nonmembrane roof	50 760 300		-134 DM
alants, caulks tings	G-1	GRN 14 #15	Dry fog coatings Faux finishing coatings Clear Top Coat	50	Roadway 250 Single-ply roof membrane Other SEALANT PRIMERS	450 420		P04-13
and coatings	G-1	GRN 14 #16	Decorative Coatings Glazes 350 Japan 350 Trowel Applied Coatings	350	Architectural Nonporous 250 Porous 775			, STE I 010 GMAIL m
a systems	G-1 G-1 G-1	GRN 14 #17 GRN 14 #17 CRN 14 #18	Fire resistive coatings Floor coatings Form-release compounds	150 50 100	Modified bituminous 500 Marine deck Other 750	500 760		ND, 000, 900, 900, 900, 900, 900, 900, 90
y systems lucts	G-1 N/A	GRN 14 #18 GRN 14 #19 SFD	Graphic arts coatings (sign paints) High temperature coatings Industrial maintenance coatings	200 420 100	Note: For additional information regarding methods t these tables, see South Coast Air Quality Managem ADHESIVE VOC Less Water and Less Exempt Com	ent District Rule 1168.		SIG CA CA Sigr
t of building materials	N/A G-1	N/A GRN 14 #23	Low solids coatings1 Magnesite cement coatings Mastic texture coatings	120 450 100	ARCHITECTURAL APPLICATIONS Indoor carpet adhesives Carpet pad adhesives	CURRENT VOC LIMIT 50 50		A DE HIRE, UES, 92 irade
s conditioning system de	A2/A2.1	FLOOR PLAN GRN 14 #26	Metallic pigmented coatings Multicolor coatings Pretreatment wash primers Primers coates, and undercoaters	150 250 420 100	Outdoor carpet adhesives Wood flooring adhesive Rubber floor adhesives	150 100 60		A.O.A.
			Reactive penetrating sealers Recycled coatings Roof coatings	350 250 50	Subfloor adhesives Ceramic tile adhesives VCT and asphalt tile adhesives	50 65 50 50		5]≥>¥6210
			Roof coatings, aluminum Rust preventative coatings	100	Drywall and panel adhesives Cove base adhesives Multipurpose construction adhesives Structural glazing adhesives	50 50 70 100		UESI C-OLI 2680 ' 415-7 CAMI Www.
			Shellacs Clear Opaque	730 550	Single-ply roof membrane adhesives Other adhesives not specifically listed SPECIALTY APPLICATIONS	250 50		
			Specialty primers, sealers and underco Stains Stains, Interior Stone consolidants	aters 100 100 250 450	PVC welding CPVC welding ABS welding	510 490 325		
			Swimming pool coatings Traffic marking coatings Tub and tile refinish coatings	340 100 420	Plastic cement welding Adhesive primer for plastic Contact adhesive	100 550 80		
			Waterproofing membranes Wood coatings Wood preservatives	100 275 350	Special purpose contact adhesive Structural wood member adhesive Top and trim adhesive	250 140 250		
			Zinc-rich primers 1. Grams of VOC per liter of coating, including water as 2. The specified limits remain in effect unless revised li table.	100 ad including exempt compounds. mits are listed in subsequent columns in the	SUBSTRATE SPECIFIC APPLICATIONS Metal to metal Plastic foams Porous material (except wood)	30 50 50		
			 Some values in this table are derived from those sp Architectural Coatings Suggested Control Measure, Fe available from the Air Resources Board. 	cified by the California Air Resources Board bruary 5, 2016. More information is	Wood Fiberglass 1. If an adhesive is used to bond dissimilar substrate	30 80		A 06
		e on the basis of disability and, upon request, will			VOC content shall be allowed. 2. For additional information regarding methods to n table, see South Coast Air Quality Management Dis http://www.arb.ca.gov/DRDB/SC/CURHTML/R1168.	rict Rule 1168,		Zd
ccess to its programs, services and a	ictivities.		As a covered entity under Title II of the A provide reasonable accommodation to er		City of Los Angeles does not discriminate or	the basis of disability and, upon request, v	11	00
Page 2 of 2		www.ladbs.org	(Rev. 01/01/20)	Page 1 of 1	, 	www.ladbs.org		
WATER CONS		ngeles Green Building Coc NOTES - ORDINANCE						3401 SAN
PLUMBING SYS		TAL BUILDINGS						
ly dwellings not exceeding three	ee stories and	9. In new buildings of 25 stories shall comply with one of the A. Shall have a minimum of	following:					
ng 50 units or less shall install a r within common areas and wit g unit.		(blowdown); or B. A minimum of 50% of th	e makeup water supply to the					
reduction shall be met by comp	olying with one of	cooling towers shall con sources, including treate	ne from non-potable water ed backwash. (4.305.3.1)					S
wing: ide a 20% reduction in the over within the building. The reduc	tion shall be based	10. In new buildings over 25 stor comply with all of the follow	ving:					Š
the maximum allowable water u ures and fittings as required by mbing Code. Calculations demo	the Los Angeles	A. Shall have a minimum of (blowdown); andB. 100% of the makeup wate	er supply to the cooling					A M
uction in the building "water us iblished in Table 4.303.4.1, sha	se baseline", as ll be provided; or	towers shall come from including treated backw	non-potable water sources, ash. (4.305.3.2)					0
fixtures and fittings shall comp kimum flow rates shown in Tab bing fixtures shall use recycled	ble 4.303.4.2, or	11. Where groundwater is being e develop and construct a system	em for onsite reuse of the					
on: Fixture replacements ing on a site with 500 square fe	(4.303.4)	groundwater. Alternatively, discharged to the sewer.	(4.305.4)					
ive landscape area shall have se rs for outdoor water use.		12. Provide a hot water system co following (Los Angeles Plur A. The hot water system sha	nbing Code Section 610.4.1):					Ш I
and alterations on a site with 50 cumulative landscape area and	where the entire	gallons of water to be d hot water arrives.	elivered to any fixture before					
water system is replaced, shall eters for outdoor water use.		recirculating loop or ele	s installed, the branch from the ctric resistance heat trace wire					Ċ
an single family dwellings, loc on all publicly accessible exte	rior faucets and hose	C. Residential units having i	ain a maximum of 0.6 gallons. ndividual water heaters shall er system that meets all of the					
cover having a manual or powe		following: a. The hot water supply	piping from the water heater				D	ATE: 10/22/2020
n any permanently installed our ng pool or spa in one- and two- gular-shaped pools where it is in	tdoor in-ground family dwellings.	b. The total developed l heater to farthest fi	take the most direct path. ength of pipe from the water xture shall not exceed the				S	CALE: NTS
the pool due to its irregular sha the pool shall be covered.		Energy Code Resid	in Table 3.6.5 of the California lential Appendix. piping shall be installed and					EVISION:
provided in this section, for site eet of landscape area, alternate	waste piping shall be	insulated in accord	ance with Section RA3.6.2 of gy Code Residential Appendix.					
to permit discharge from the c showers, and bathroom/restroc for a future graywater irrigation	lothes washer, oms wash basins to	IRRIGATION	<u>SYSTEM</u>					
provided in this section, where	City-recycled		nt of Water Resources' Model				A A	
available within 200 feet of the urinals, floor drains, and process in the building shall be supplied	ss cooling and d from recycled		areas of 500 sq. ft. or more. educe potable water use in landscape				PF	ROJECT #: 19-133
id shall be installed in accordan Plumbing Code.		areas include, but are not li recycled water, graywater,	nited to, use of captured rainwater, or water treated for irrigation a water district or public entity.					RAWN BY: MS
		purposes and conveyed by	(4.304.1) (4.304.1)					HEET
entity under Title II of the Americans able accommodation to ensure equal	with Disabilities Act, the access to its programs, se	City of Los Angeles does not discriminate on the ervices and activities.	pasis of disability and, upon request, will					
))	Page 1 of	f1	www.ladbs.org					



LEGEND

 \rightarrow 2% SLOPE AWAY FROM BUILDING

1- An approved seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.

2- Provide low consumption water closets for all new construction. Existing shower heads and toilets must be adapted for low water.

3- All concentrated drainage including roof water shall be consucted to the street at 2%

4- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, 7- Lots shall be graded to drain surface water tranformers, vaults, pumps, valves, meters, away from foundation walls with a minimum fall of 6 appurtenances, etc.) or to the location of the hook inches within the first 10 feet. (R401.3). up. The construction shall not be within ten feet of any power lines whether or not the lines are 8- Hardscape material with an initial solar located on the property. Failure to comply may reflectance of at least 0.30 (4.106.7) cause construction delays. 5- Construction waste shall be reduced by 50% containers for the waste and recycled material must be provided on site and contractor to verify that waste and recycled material will be separated and removed by the city of Los Angeles certified hauler

SITE PLAN

3/16° = 1'-0°

6- materials delivered to the construction site shall be protected from rain other sources of moisture

HARDSCAPE CALCULATIONS: DRIVEWAY

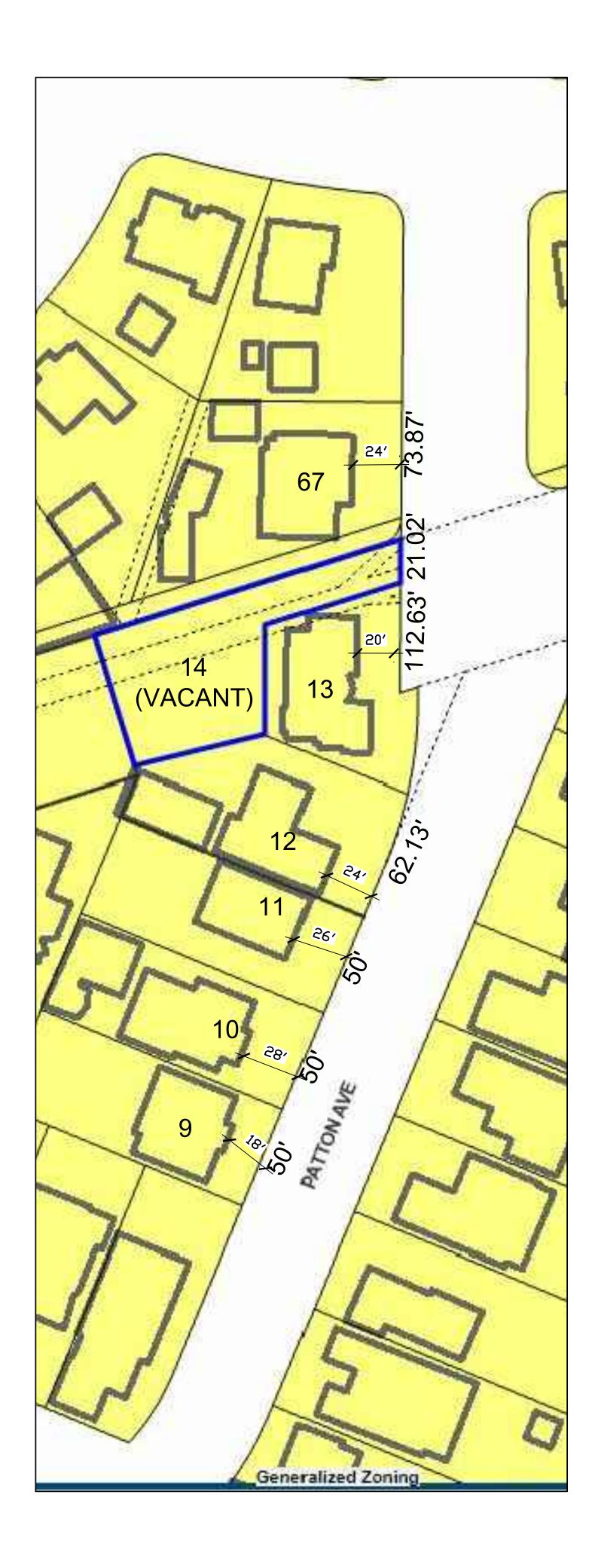
HARDSCAPE

=2,160.00 SQ. FT. =390 SQ. FT.

TOTAL CONCRETE = 2,550 SQ. FT. 25% OF HARDSCAPE (2,550 SQ. FT.) = 637.5 SQ. FT. REQUIRED TO COMPLY PROVIDED: 2,160 SQ. FT. 2,160 SQ. FT. > 637.5 SQ. FT. = DK



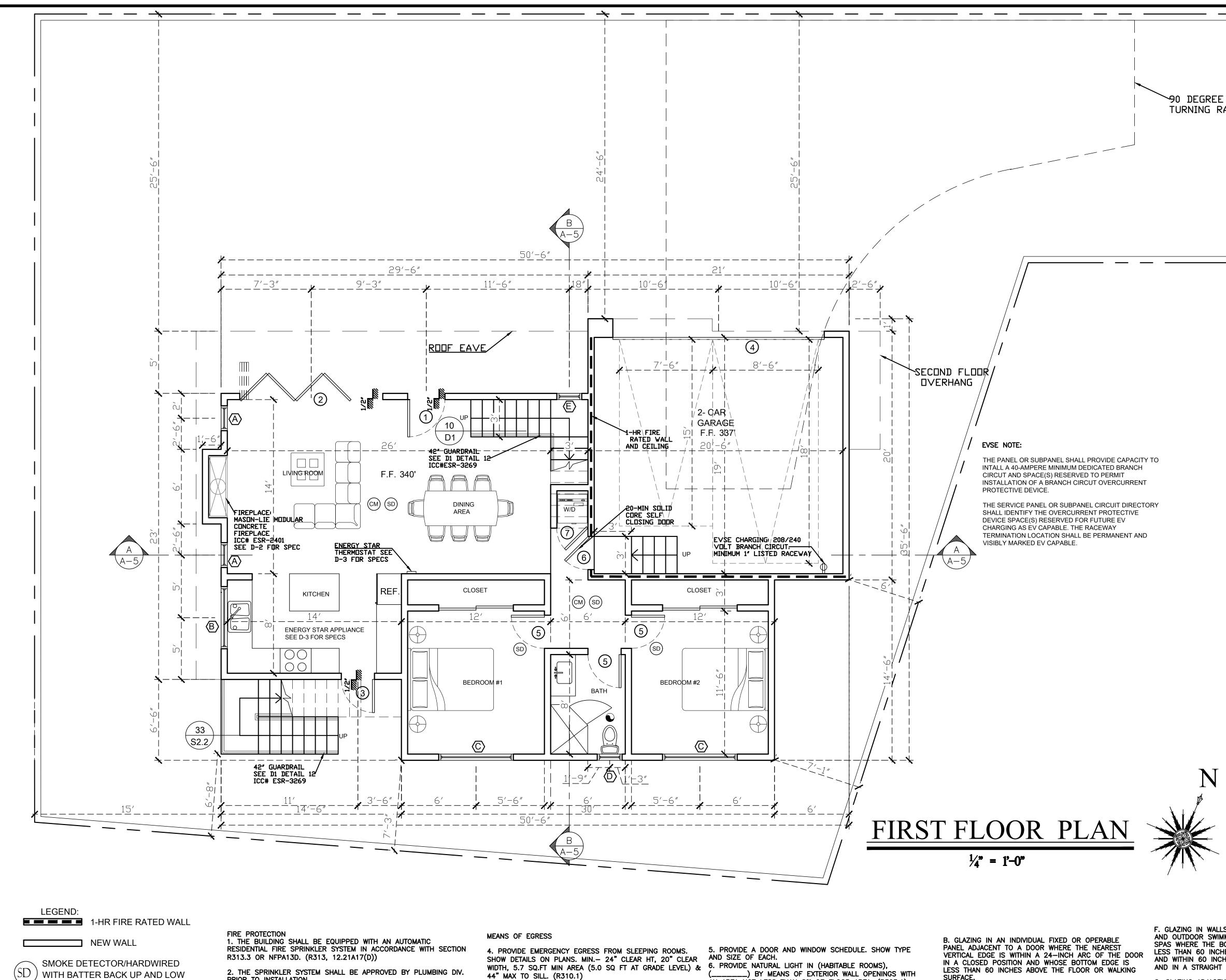
DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
SITE PLAN
DATE: 10/22/2020 SCALE: 3/16" = 1'-0" REVISION: □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ● <t< th=""></t<>
A1



Lot	Frontage (ft)	Setback (ft)			Res	ults
9	50	18	×	Numbe	er of lots: 7	
10	50	28	×	Prevailing) Setback: 23.33 ft	
11	50	26	×	Calculatio	n	
12	62.13	24		Total n	o of lots entere	d: 7
					ontage entered	l: 419.65 ft le entered: 167.86 f
13	112.63	20			ots used in the	
14	21.02	0	×	Setback range used: 18.00 ft - 28.00 ft		
67	73.87	24	×	Total fr	ontage used in	the calculation: 39
Clear		Calculate		Lots U	sed	
Ciedi		Culculate		Lot	Frontage (ft)	Setback (ft)
				9	50.00	18.00
				10	50.00	28.00
				11	50.00	26.00
				12	62.13	24.00
				13	112.63	20.00
				67	73.87	24.00

PREVAILING SETBACK: 23.33' PROVIDED SETBACK: 78'-11"

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3401 S. PATTON AVE. SAN PEDRO, CA 90731
PREVAILING SETBACK CALCULATIONS
DATE: $10/22/2020$ SCALE: $3/16" = 1'-0"$ REVISION: \triangle \triangle \triangle \triangle \triangle \triangle \triangle \triangle \triangle \triangle



PRIOR TO INSTALLATION. 3. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH

SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)

4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

6. AT LEAST ONE DOOR SHALL BE 36 WIDE BY 80 HIGH (R311.2)

ROOMS. (6304.1)

16. RAMP SLOPES SHALL NOT EXCEED 1:12 (8%).(R311.7.3) 17. PROVIDE 42" HIGH GUARDS WITH MAX 4" CLEAR SPACING OPENING BETWEEN RAILS AT (_____ _____) (R312).

INTERIOR ENVIRONMENT

SHALL BE NOT LESS THAN 7 FEET (R305.1).

BATH EXHAUST FAN W/LIGHT SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 50 CFM FANS NOT TO FUNTIONING AS A COMPONET OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMITY

BATTERY SIGNAL

UP

CARBON MONOXIDE ALARM

HARD-WIRED W BATTERY BACK-

7. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE

4. THE MINIMUM CEILING HEIGHT FOR HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES

AN AREA NOT LESS THAN 8% OF FLOOR AREA. (R303.1) 12. ATTIC AREA HAVING A CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (20" X 30" MIN). (R807.1) ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1) 13. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)

BUILDING ENVELOPE 1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1. 2. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER

CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN (R306.1 AND R306.2). 3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY

GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4): A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD ASSEMBLIES

SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS: 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. 4) ONE OR MORE WALKING SURFACES WITHIN 36

INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER SEDGE.

G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

4. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.

TURNING RADIUS

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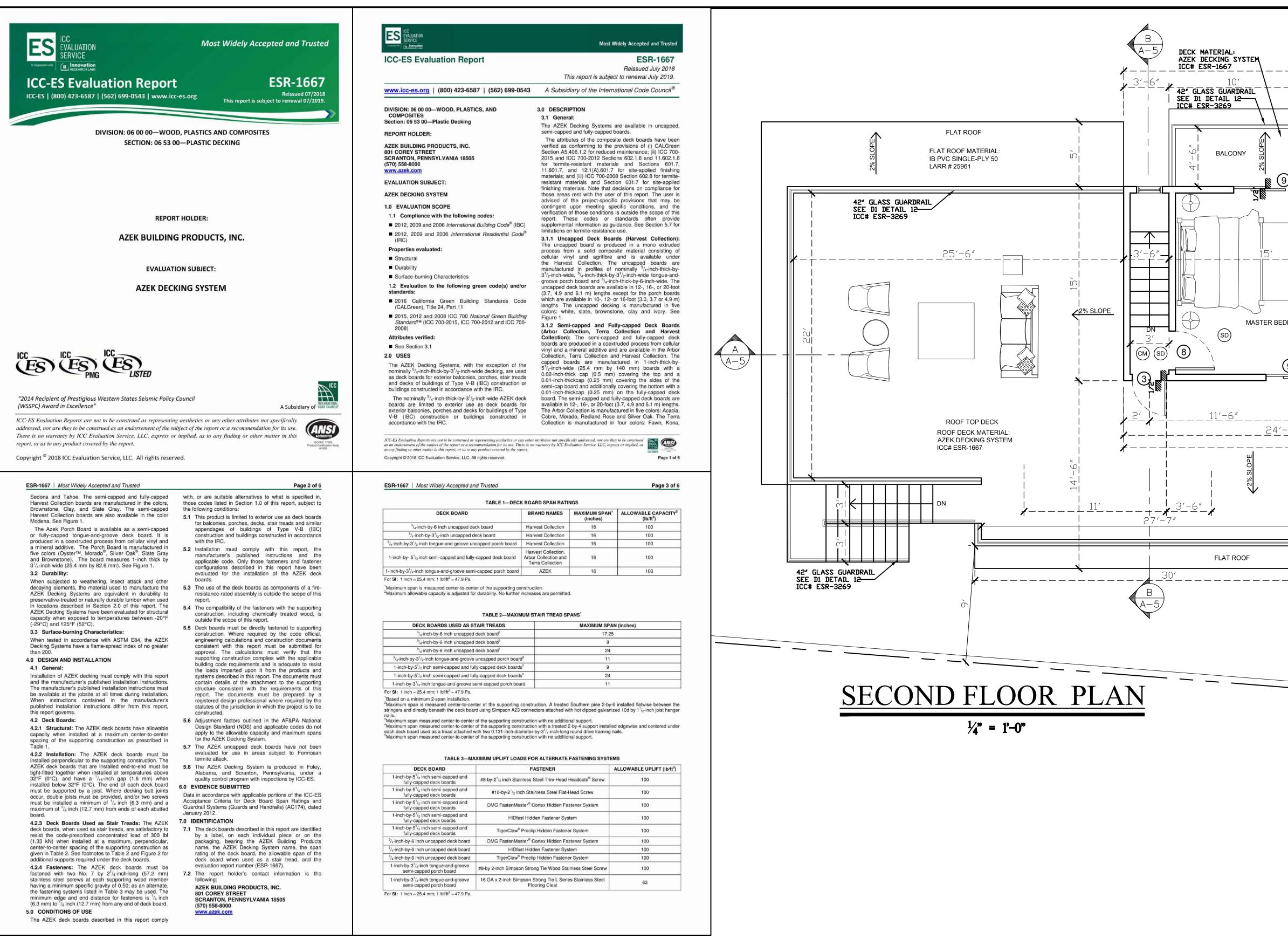
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8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED II THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

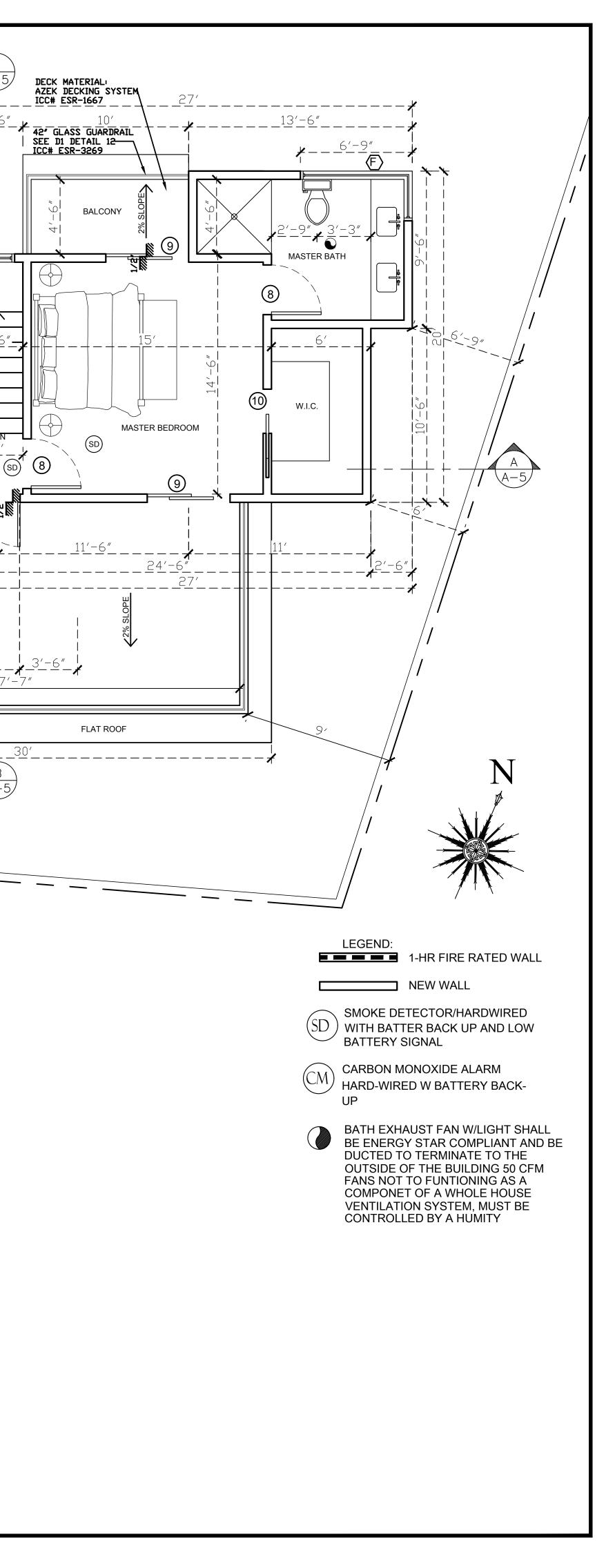
10. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
FIRST FLOOR PLAN
DATE: 10/22/2020 SCALE: 1/4" = 1'-0" REVISION: □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ● <td< td=""></td<>
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DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
SECOND FLOOR PLAN
DATE: 10/22/2020 SCALE: 1/4" = 1'-0" REVISION:
PROJECT #: 19-133 DRAWN BY: MS SHEET A2.1

CITY OF LOS ANGELES

ERIC GARCETTI

(CSI # 07 54 19)

BOARD OF BUILDING AND SAFETY COMMISSIONERS VAN AMBATIELOS E. FELICIA BRANNON

JOSELYN GEAGA-ROSENTHAL GEORGE HOVAGUIMIAN JAVIER NUNEZ

> I.B. Roof Systems 8181 Jetstar Suite 150 Irving, Texas 75063

Director of Technical Services

Attention: Phillip David

Expires: August 1, 2020 Issued Date: July 1, 2018 Code: 2017 LABC

RESEARCH REPORT: RR 25961

GENERAL APPROVAL – Renewal - IB PVC Roofing Membranes

DETAILS

(972)-354-6627

IB Roof Systems single-ply roofing systems consist of single-ply polyvinyl chloride (PVC) roofing membrane, base/top insulation (when used) for use in adhered or mechanically fastened applications.

IB PVC Single Ply is a 50-mil, 60-mil, 80-mil polyester fabric-reinforced PVC membrane compliant with ASTM D4434, Type III.

IB PVC Single Ply Fleeceback is a 50-mil, 60-mil, 80-mil polyester reinforced PVC membrane with a non-woven polyester fleece backing. The membrane complies with ASTM D4434, Type III.

IB Roof single-ply roofing systems meet the fire classification and allowable design pressures outlined in Appendix 1, attached.

The roof covering systems described above are approved as Class A or Class B roof coverings and subject to the following conditions:

1. The roofing materials shall be delivered to the job site in sealed containers identified by the manufacturer's name and product designation.

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

RR 25961 Page 1 of 3

DEPARTMENT OF BUILDING AND SAFETY

LOS ANGELES, CA 90012

FRANK M. BUSH

GENERAL MANAGER SUPERINTENDENT OF BUILDING

OSAMA YOUNAN, P.E.

I.B. Roof Systems

RE: IB PVC ROOFING MEMBRANES

DISCUSSION

LADBS G-5 (Rev.08/03/2016)

The report is in compliance with the 2017 LABC.

The approval was based on data in accordance with ICC Evaluation Services Acceptance Criteria for Membrane Roof Covering Systems (AC75).

Addressee to whom this Research Report is issued is responsible for providing copies of it, complete with any attachments indicated, to architects, engineers and builders using items approved herein in design or construction which must be approved by Department of Building and Safety Engineers and Inspectors.

This general approval of an equivalent alternate to the Code is only valid where an engineer and/or inspector of this Department has determined that all conditions of this approval have been met in the project in which it is to be used.

QUAN NGHIEM, Chief Engineering Research Section 201 N. Figueroa St., Room 880 Los Angeles, CA 90012 Phone- 213-202-9812 Fax- 213-202-9943

RR25961/MSWord2010 R06/16/18 TLB1800148 104.2.6

Attachment: Assemblies and Allowable Wind Uplift Pressure (9 pages)

I.B. Roof Systems **RE: IB PVC ROOFING MEMBRANES**

- 2. Application of the components shall be in accordance with the applicant's published installation instructions, consistent with the description and requirements herein. (A copy shall be available at the job site).
- 3. Installation of the membranes must comply with the 2017 LABC, the manufacturer's published installation instructions, and this report.
- 4. IB Roof Systems PVC Single-Ply Roofing Systems are approved for reroofing (in accordance with Section 6.4 of AC75) under the following conditions:
 - a. Class A, B, or C roof covering systems may be installed over existing roof covering systems under the following conditions provided the resulting classification is the lower of the new and existing roofing classification: i. New uninsulated systems installed only over existing uninsulated assemblies.
 - ii. New insulated systems installed over existing uninsulated systems
 - b. For wind uplift resistance, mechanically anchored systems may be accepted based on adequacy of anchors penetrating through existing roof coverings into structural substrates.
 - c. Metal edge securement systems must be listed in accordance with ANSI/SPRI ES-1 dated (2003 or 2011, as applicable) and designed and installed for wind loads in accordance with LABC Section 1504.5 and LABC Chapter 16.
- 5. The membranes must be installed by authorized applicators approved by IB Roof Systems.
- 6. Foam plastic must be separated from the interior of the building by approved thermal barrier in accordance with Section 2603.4.1.5 of the 2017 LABC or Section R316.4 of the 2017 LARC, as applicable.
- 7. Foam plastic insulation, when used, must bear the label of an approved testing and listing agency indicating that the foam plastic has a flame –spread index of not more that 75 when tested at the maximum thickness intended for use in accordance with ASTM E84 or UL 723.
- 8. Above-deck thermal insulation board must comply with the applicable standard listed in Table 1508.2 of the 2017 LABC or Table R906.2 of the 2017 LARC, as applicable.
- 9. Allowable wind uplift pressures given in Tables 3 and 4 of the attachment are for the roof covering only. The deck and framing to which the roof covering is attached must be designed for the applicable components and cladding wind loads in accordance with the 2017 LABC.

chnical Data Sheet B PVC Single-Ply 50

Product Descriptio IB PVC Single-Ply 50 is a polyester scrim reinforced, compounded pvc resin based sheet with plasticizers, stabilizers, fillers, pigments and other proprietary materials meeting ASTM D4434, Type III. Rolls are manufactured in a nominal 50 mil thickness and use an anti-wicking scrim for added strength, tear resistance and enhanced moisture resistance.

Packaging: Size 6' x 90'

540 sq. ft. / 175 lbs. 270 sq. ft. / 90 lbs. 3' x 90'

Features • Meets and exceeds ASTM D 4434-12, Type III Thermonlastic Membrane

Sq. Ft. / Weight per roll (approx.)

- 15-Year Limited Material Warranty
- · Excellent flexibility in all climates
- Highly reflective IB PVC Single-Ply can help to reduce heat transfer through the roof into the building's interior Thick, heavy duty 24 mil top ply weathering film
- Thermally welded seams provide superior seam strength • Exceeds Energy Star™ and California Title 24 requirements for Solar Reflectance and Emissivity

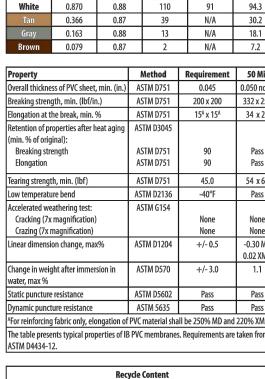
IB PVC Single-Ply 50 can be installed in new, recover, Elongation at the break, min. % ASTM D751 and re-roof constructions as the primary field membrane Retention of properties after heat aging ASTM D3045 and base flashing at all roof to wall transitions. It can (min. % of original): be mechanically attached or fully adhered to a properly prepared substrate with approved fasteners and membrane plates or approved membrane adhesive.

IB PVC Single-Ply 50 has a 15-Year Limited Material

Warranty and is available for 'Warranty Plus' and 'Total Crazing (7x magnification) Systems' warranties for IB Roof Systems Authorized Linear dimension change, max%

Available Colors: White, tan, gray and brown.

IB PVC membranes are listed with various component assemblies at UL and Factory Mutual (F.M. Global) for fire, wind uplift and impact resistance. Visit our website for links to these agencies and listings at: www.ibroof.com.



Acrylic Finish

RR 25961 Page 3 of 3

Note :

- MINIMUM ROOF SLOPE OF 3/8" PER FOOT SHALL BE PROVIDED AT ANY POINT OF THE ROOF. PROVIDE UNIFORM SLOPE TOWARD DOWNSPOUTS AND/OR SCUPPERS AS INDICATED ON ROOF PLAN. (REFER TO DETAILS FOR DOWNSPOUTS AND SCUPPERS INCLUDED IN THIS DRAWINGS.)
- INSULATIONS SHALL BE INSTALLED AT BOTTOM OF JOISTS OR FRAMING UNDER ENTIRE ROOF. USE R-30 INSULATION WITH VAPOR BARRIER
- CHECH & VERIFY LOCATIONS & EXACT SIZES OF ALL A/C EQUIPMENT. REQUIRED OPENINGS & SUPPORTS WITH A/C CONTRACTORS BEFORE FRAMING BEGINS. ANY REWORKING REQUIRED TO ACCOMODATE EQUIPMENT IN QUESTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- PAINT ALL ROOF EQUIPMENTS. ALL ROOF METAL SHALL RECEIVE TWO (2) COATS OF EXTERIOR SEMI GLOSS PAINT. VERIFY COLOR W/ARCHITECT.

- 5. TELEVISION ANTENNA CROSSARMS OR OTHER ROOF OBSTRUCTIONS SHALL BE LOCATED 20'-0" MIN. FROM EDGE OF ROOF & 7'-0" MIN. ABOVE ROOF.
- 6. PROVIDE ATTIC DRAFT STOPS AS REQUIRED (SEE ROOF PLAN & DETAILS). DRAFT STOPS SHALL DIVIDE ATTIC SPACES INTO AREAS NOT TO EXCEED 3,000 SQ. FT. PER UBC SEC.3205 (8). SEE DETAILS FOR WOOD & GYP. BOARD DRAFT STOPS. PROVIDE 2" X ___ WOOD FRAMING AS REQUIRED TO COMPLETE ITS CONSTRUCTION.
- 7. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE.
- PROVIDE GRAVITY TYPE ATTIC VENTILATORS AT ROOF 8. IF TRUSSES ARE NOT OF SOLID WEB CONSTRUCTION. WHEN ATTIC DRAFT STOP ARE REQUIRED PROVIDE TWO (2) ROOF GRAVITY VENTILATORS FOR EACH DIVISION.
- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING THE ROOF.

10. CRICKET WITH 1/2" PLYWOOD OVER 2" X ___" SLEEPERS TYPICAL.

16. VALLEY FLASHINGS SHALL NOT BE LESS THAN 11. THE ROOFS FOR THE MAIN BUILDING AND THE EXISTING 0.019-INCH (0.48MM) (NO. 26 GALVANIZED SHEET GAGE) BUILDING ARE SPECIALIST TO VERIFY THAT: CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL ASSOCIATED FLASHINGS AND SHEET METAL HAVE BEEN LENGHT OF THE VALLEY (705A.3) PROPERLY INSTALLED

BELOW.

PROJECT ACCEPTANCE BY THE TENANT. 18. (ROOF) (ATTIC) (EXTERIOR WALL) VENTS SHALL RESIST 12. ROOF FLOOD TEST TO BE CONDUCTED IN THE PRESENCE OF THE STRUCTURE, OR SHALL BE PROTECTED BY OF THE BULDING OWNER AND THE TENANT. CONTRACTOR CORROSION- RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8). PROVIDE MIN. 96 HRS. NOTICE TO BOTH PARTIES. 1/4-INCH (6MM) OPENINGS OR ITS EQUIVALENT. VENTS 22. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND 706A.2, 706A.3, 7207.3). HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

15. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

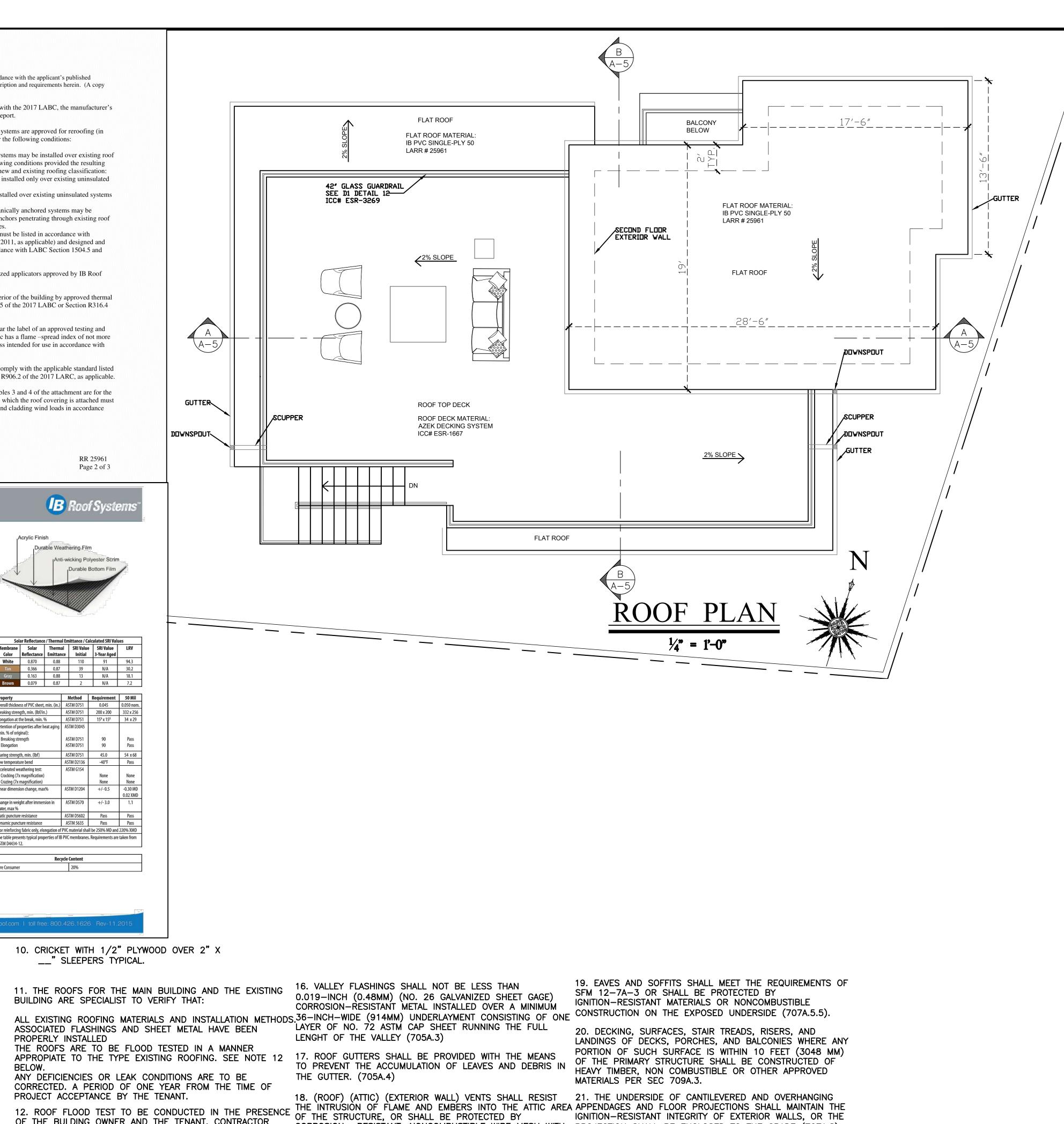
(White, Cool Sand)

Warranties

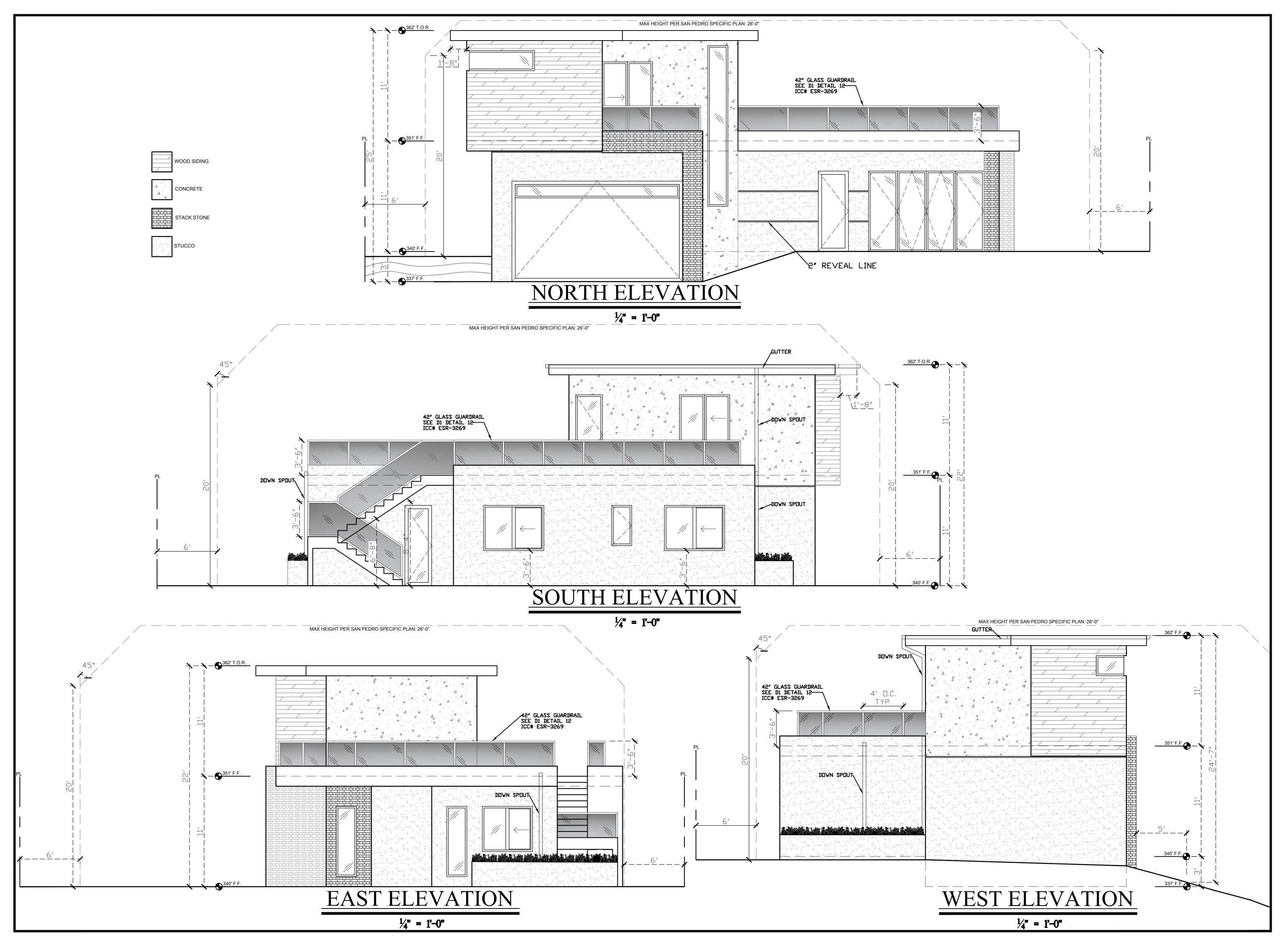
Applicators.

water, max %	L
Static puncture resistance	Γ
Dynamic puncture resistance	Γ
^A For reinforcing fabric only, elongation o	fР
The table presents typical properties of I ASTM D4434-12.	BI

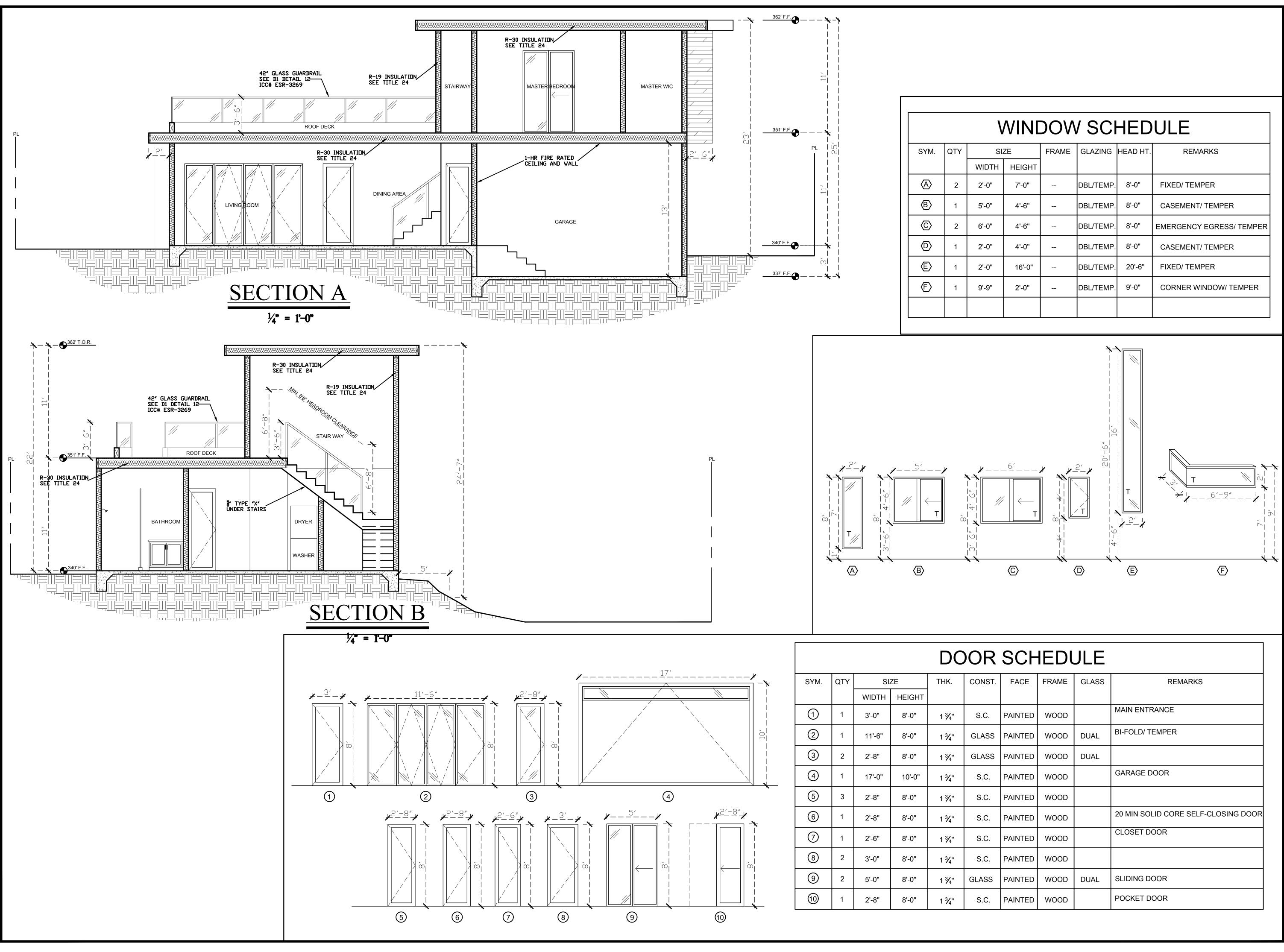
Pre Consumer



DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
ROOF PLAN
DATE: 10/22/2020 SCALE: 1/4" = 1'-0" REVISION: □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ▲ □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● □ ● ■ ● ■ ● ■ ● ■ ● ■ ● <td< td=""></td<>

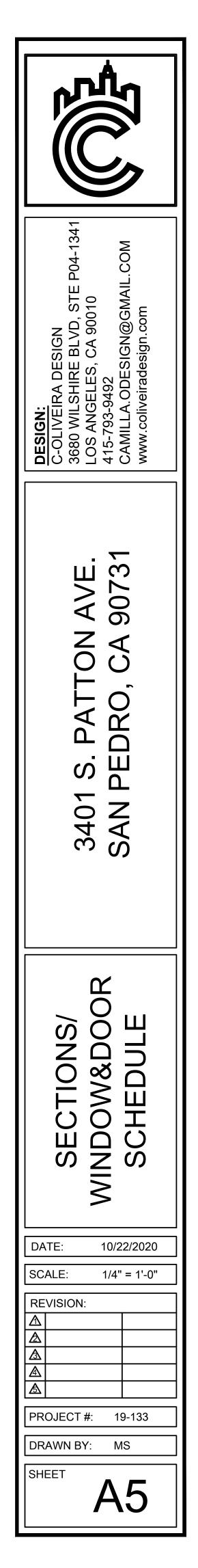


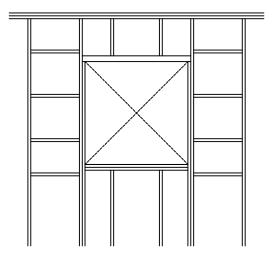
DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
ELEVATIONS
DATE: 10/22/2020 SCALE: 1/4" = 1'-0" REVISION:
SHEET A4

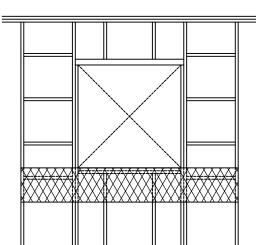


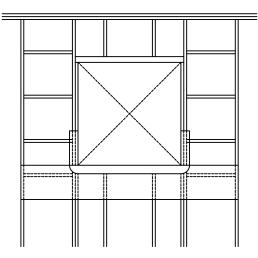
WINDOW SCHEDULE									
SYM.	QTY	SI	ZE	FRAME	GLAZING	HEAD HT.	REMARKS		
		WIDTH	HEIGHT						
$\langle A \rangle$	2	2'-0"	7'-0"		DBL/TEMP.	8'-0"	FIXED/ TEMPER		
B	1	5'-0"	5'-0" 4'-6"		DBL/TEMP.	8'-0"	CASEMENT/ TEMPER		
$\langle \mathbb{C} \rangle$	2	6'-0"	4'-6"		DBL/TEMP.	8'-0"	EMERGENCY EGRESS/ TEMPER		
\bigcirc	1	2'-0" 4'-0"			DBL/TEMP.	8'-0"	CASEMENT/ TEMPER		
Ē	1	2'-0"	16'-0"		DBL/TEMP.	20'-6"	FIXED/ TEMPER		
Ē	1	9'-9"	2'-0"		DBL/TEMP.	9'-0"	CORNER WINDOW/ TEMPER		

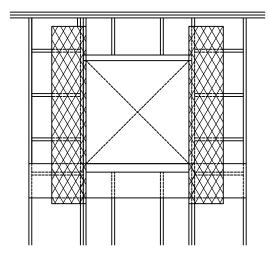
				DC	OR	SCF	IEDU	JLE			
SYM.	QTY	SIZE		SIZE		THK.	CONST.	FACE	FRAME	GLASS	REMARKS
		WIDTH HEIGHT									
1	1	3'-0" 8'-0"		1 ¾"	S.C.	PAINTED	WOOD		MAIN ENTRANCE		
2	1	11'-6"	8'-0"	1 ¾"	GLASS	PAINTED	WOOD	DUAL	BI-FOLD/ TEMPER		
3	2	2'-8"	8'-0"	1 ¾"	GLASS	PAINTED	WOOD	DUAL			
4	1	17'-0"	10'-0"	1 ¾"	S.C.	PAINTED	WOOD		GARAGE DOOR		
5	3	2'-8"	8'-0"	1 ¾"	S.C.	PAINTED	WOOD				
6	1	2'-8"	8'-0"	1 ¾"	S.C.	PAINTED	WOOD		20 MIN SOLID CORE SELF-CLOSING DOOR		
7	1	2'-6"	8'-0"	1 ¾"	S.C.	PAINTED	WOOD		CLOSET DOOR		
8	2	3'-0"	8'-0"	1 ¾"	S.C.	PAINTED	WOOD				
9	2	5'-0"	8'-0"	1 ¾"	GLASS	PAINTED	WOOD	DUAL	SLIDING DOOR		
10	1	2'-8"	8'-0"	1 ¾"	S.C.	PAINTED	WOOD		POCKET DOOR		

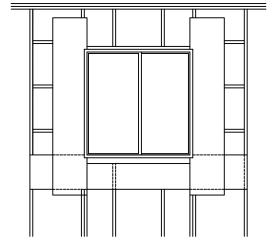


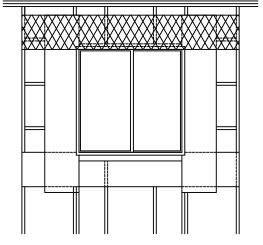












ALL BUILDING PAPER TO BE "SUPER JUMBO-TEX" BY FORTIFIBER OR APPROVED EQUAL, 60 MINUTE GRADE D.

ALL WINDOW FLASHING TO BE 12" WIDE "MOISTOP" BY FORTIFIBER OR APPROVED EQUAL

SELF-ADHERING SHEET FLASHING TO BE "ICE AND WATER SHIELD" OR APPROVED EQUAL.

FRAMING - WHERE THE DPENING DCCURS IN A WALL WITHOUT EXTERIOR SHEATHING, THE

BLOCKING MEMBERS (A) SHOULD BE INSTALLED AS NECESSARY TO SUPPORT THE DUTSIDE EDGES OF SIDE FLASHING. INSTALL APPROXIMATELY 16" O.C. BLOCKING MAY BE DMITTED WHEN THE STUD IS INSTALLED TO SUPPORT THE DUTSIDE EDGE OF THE SIDE FLASHING.

2. BOTTOM SEAL FLASHING - APPLY THE FIRST STRIP OF FLASHING (B) HORIZONTAL, TIGHT TO THE BOTTOM OF THE WINDOW OPENING, EXTEND FLASHING GREATER THAN 12" PAST THE OPENING AND ATTACH TO THE NEXT AVAILABLE STUD. FASTEN ONLY THE TOP EDGE SO THAT THE SUBSEQUENT LAYERS OF THE BUILDING PAPER MAY BE LAPPED UNDER. (SHINGLED).

3. INSTALL SELF ADHERING SHEET FLASHING (C) CONTINUOUS INTO THE FULL DEPTH OF THE FRAMED OPENING ALONG THE SILL AND UP THE JAMBS 6" MINIMUM.

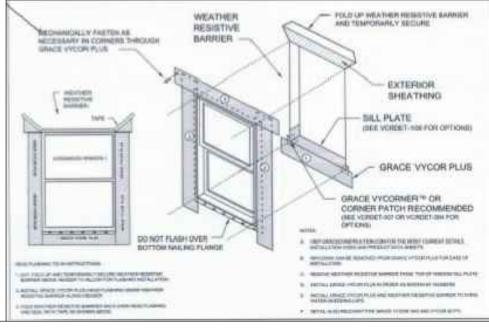
4. INSTALL THE TWO SIDE (JAMB) FLASHING STRIPS (D) VERTICAL, TIGHT TO THE SIDES OF THE WINDOW OPENING. EXTEND FLASHING ABOVE THE TOP AND BELOW THE BOTTOM OF THE OPENING FOR A DISTANCE EQUAL TO AT LEAST THE WIDTH OF THE FLASHING STRIP. THE BOTTOMS OF THE VERTICAL SIDE STRIPS SHOULD LAP OVER THE BOTTOM HORIZONTAL STRIP AND SHOULD NOT BE NAILED SO THAT SUBSEQUENT LAYERS OF BUILDING PAPER MAY BE LAPPED UNDER (SHINGLED)

5. INSTALL THE WINDOW BY FIRMLY PRESSING THE NAIL FLANGE ONTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (E) EXTENDING AROUND ALL FOUR SIDES OF THE WINDOW FLANGE. THE SEALANT BEAD (APPROX. 3/ DIA.) SHOULD BE APPLIED TO THE BACK SIDE OF THE NAILING FLANGE PRIOR TO MOUNTING THE WINDOW UNIT. PLACE THE SEALANT IN LINE WITH PRE-PUNCHED HOLES AND SLOTS. THE WINDOW SHOULD THEN BE TRUED AND LEVELED, NAIL INTO PLACE PER MFR. INSTRUCTIONS,

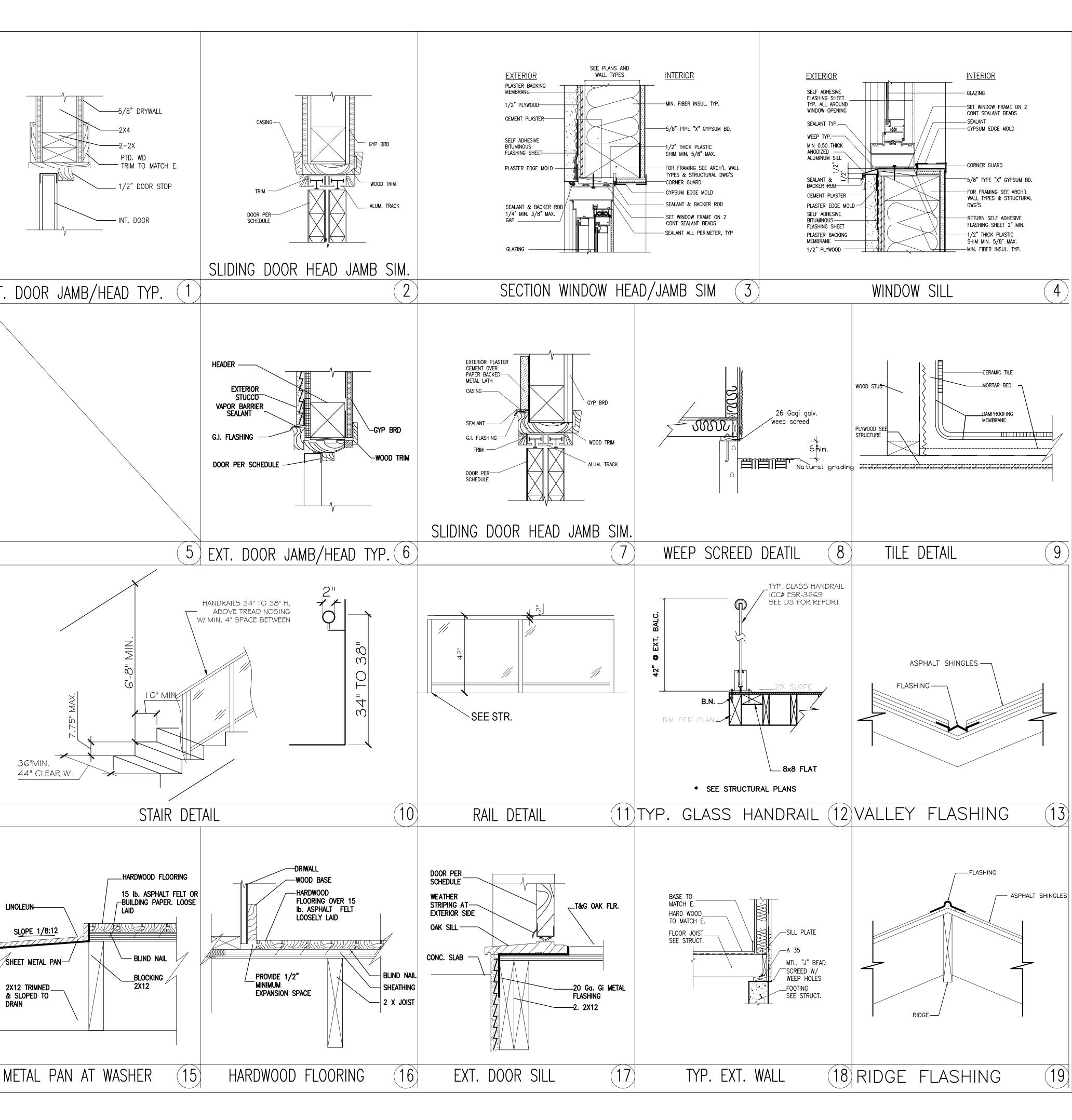
6. INSTALL THE TOP (HEAD) FLASHING TO LAP OVER THE TOP NAILING FLANGE. PRESS THE BOTTOM EDGE OF THE FLASHING STRIP INTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (F) ON THE OUTSIDE FACE OF THE NAILING FLANGE. PLACE THE SEALANT IN LINE WITH THE PRE-PUNCHED HOLES AND SLOTS, EXTEND THE ENDS OF THE TOP FLASHING STRIP SO THAT IT ALL OVERLAPS THE DUTER EDGES OF THE SIDE FLASHING STRIPS,

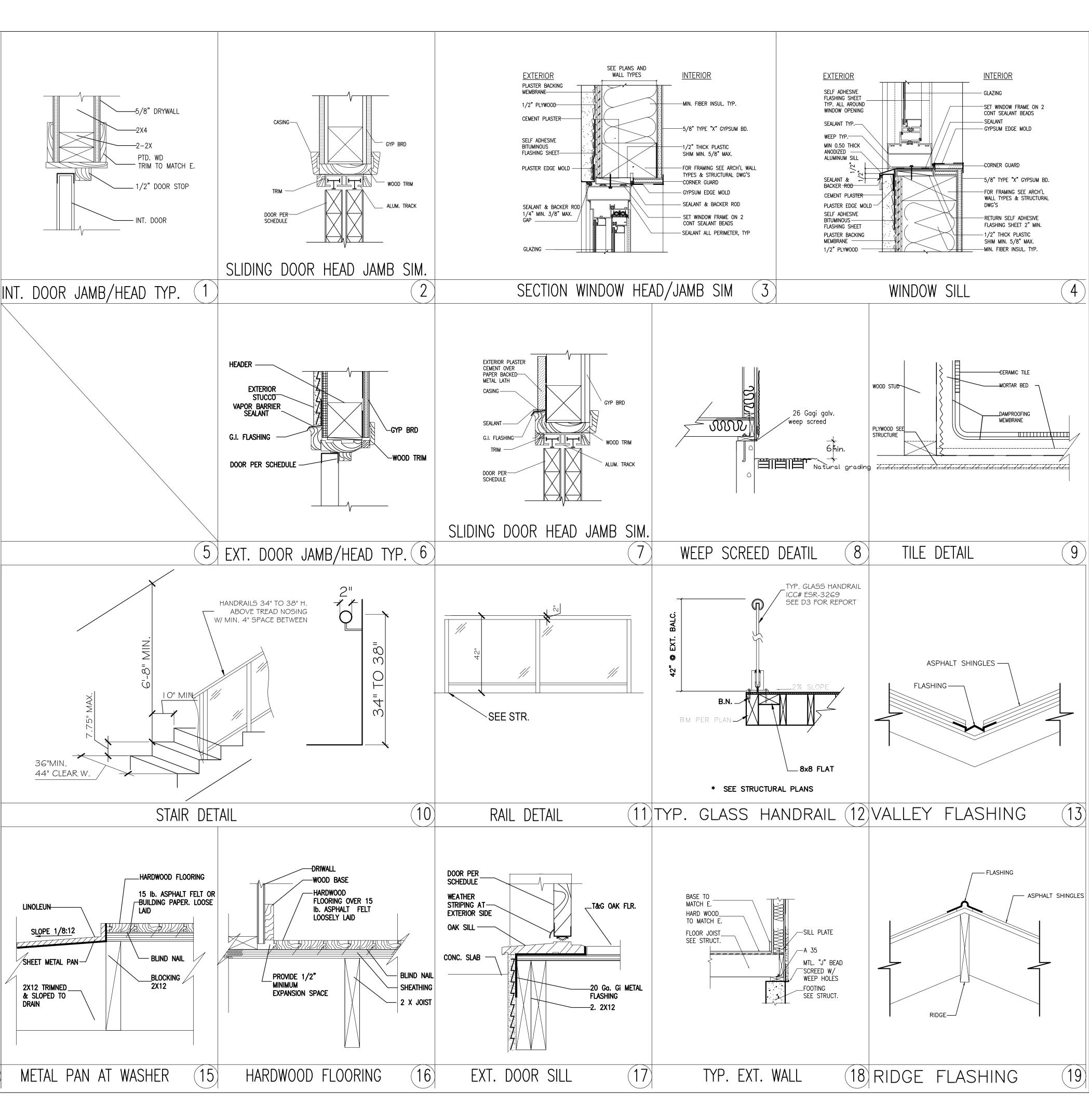
7. STARTING AT THE BOTTOM OF THE WALL, INSTALL THE WATERPROOF BUILDING PAPER IN "SHINGLE" FASHION UP THE WALL. THE LAYER WHICH FALLS AT THE BOTTOM OF THE WINDOW OPENING SHOULD BE LAPPED UNDER THE BOTTOM FLASHING. SUCCESSIVE LAYERS OF BUILDING PAPER SHOULD LAP OVER THE SIDE NAILING FLANGES.

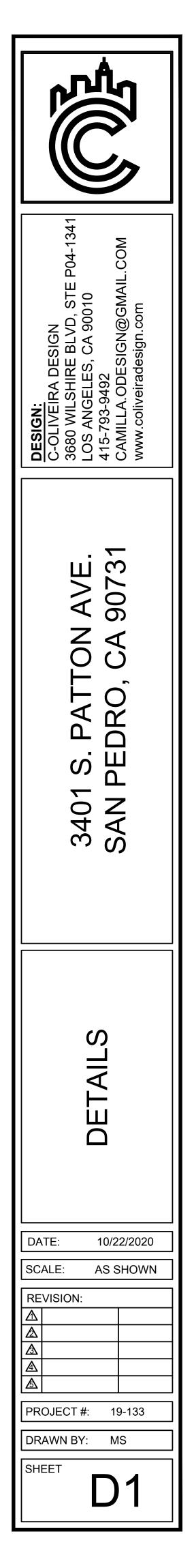
PENETRATION FLASHING



TYPICAL WINDOW AND LOUVER FLASHING AT BUILDING PAPER W.R.B.







ES ICC EVALUATION SERVICE

ICC-ES Evaluation Report

ESR-2401 Reissued January 2020 Revised March 2020

This report is subject to renewal January 2021.

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DIVISION: 10 00 00—SPECIALTIES Section: 10 31 00—Manufactured Fireplaces

REPORT HOLDER:

MASONRY FIREPLACE INDUSTRIES, LLC

EVALUATION SUBJECT:

MASON-LITE MODULAR CONCRETE FIREPLACES ADDITIONAL LISTEES:

BURNTECH FIREPLACE SOLUTIONS

CAPO FIRESIDE

1.0 EVALUATION SCOPE

- Compliance with the following codes: 2018, 2015, 2012, 2009 and 2006 International Building
- Code[®] (IBC) ■ 2018, 2015, 2012, 2009 and 2006 International Residential Code[®] (IRC)
- 2018, 2015, 2012, 2009 and 2006 International
- Mechanical Code[®] (IMC) 2018, 2015, 2012, 2009 and 2006 International Fuel Gas Code[®] (IFGC)
- **Properties evaluated:**
- Fire resistance

Seismic resistance

For evaluation for compliance with codes adopted by Los Angeles Department of Building and Safety (LADBS), see ESR-2401 LABC and LARC Supplement.

2.0 USES

The Mason-Lite[™] modular concrete fireplaces, Models MFP-33, MFP-39, MFP-44, MFP-49 and MFP-63 [Burntech Fireplace Solutions Models TFS33, TFS39, TFS44, TFS49 and TFS63 and Capo Fireside Artisan Series Models AS33. AS39, AS44, AS49 and AS63], comply with UL 127 and are fireplaces constructed in the field using prefabricated concrete firebox components with factory-built chimneys. The fireplaces are for use only with solid wood logs, LPG or natural gas log lighters complying with CSA 8, and decorative gas appliances complying with ANSI Z 21.60.

Mason-Lite modular concrete vented gas-fired fireplace models MGFP-39, MGFP-44, and MGFP-49 [Burntech Fireplace Solutions Models_GBVS39, GBVS44 and GBVS49 and Capo Fireside Artisan Series Models ASG39, ASG44 and ASG49] comply with ANSI Z21.50, and are constructed in the field and vented with a listed Type B gas vent.

Mason-Lite modular concrete gas-fired vent free fireplace models MFP-39VF, MFP-44VF, and MFP-49VF [Burntech Fireplace Solutions Models_VFS39, VFS44 and VFS49 and Capo Fireside Artisan Series Models AS-39VF, AS-44VF and AS-49VF] comply with ANSI Z21.91 and are constructed in the field.

3.0 DESCRIPTION

3.1 Fireplace Units: The Mason-Lite™ Masonry Fireplace is a modular refractory

masonry unit designed for field assembly. The firebox is constructed using precast, interlocking refractory blocks secured to each other using Mason-Lite mortar. The system is supplied with all parts necessary for the assembly of a complete masonry firebox unit. Figures 1 and 2 illustrate the Mason-Lite system components. For combustible floor installations, the Mason-Lite system includes a noncombustible raised platform designed to be placed beneath the field-assembled firebox unit. High-temperature refractory brick. 1¹/₈ inches (28.6 mm) thick, is required to line the interior of the firebox. See Table 1 for Masonry Fireplace Industries (MFI), Capo Fireside and Burntech Fireplace Solutions (Burntech) models, fireplace weights and floor areas.

The Mason-Lite™ Models MFP-33, MFP-39, MFP-44, MFP-49, and MFP-63 are also sold as Burntech Fireplace Solutions models TFS-33, TFS-39, TFS-44, TFS-49, and TFS-63, respectively. The products are also sold as Capo Fireside models AS33, AS39, AS44, AS49 and AS63.

3.2 Factory-built Chimneys:

The wood-burning fireplaces may only be used in conjunction with listed factory-built specific chimney systems. The MFP-33, MFP-39, MFP-44 (AS33, AS39, AS44, TFS33, TFS39, TFS44) wood burning fireplaces require the use of a Desa/FMI DM12 12-inch-diameter (305 mm) chimney or 12- or 14-inch-diameter (305 or 356 mm) flue system listed by an approved agency as complying with UL103. The MFP-49 (AS49, TFS-49) fireplace requires a 14-inch-diameter (356 mm) flue system listed by an approved agency as complying with UL103. The MFP-63 (AS63, TFS63) fireplace requires the use of a

Page 5 of 15

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Desa/FMI DM16 16-inch-diameter (406 mm) flue system listed by an approved agency as complying with UL103 and labeled as "Residential Type and Building Heating Appliance Chimney". As an alternative, the MFP-63 (AS63, TFS63) fireplace may use a dual Desa/FMI DM12 12-inchdiameter (305 mm) flue system. The chimneys are limited to a maximum height of 40 feet (12 192 mm) and a minimum height of 14 feet (4267 mm); except that, where offsets are

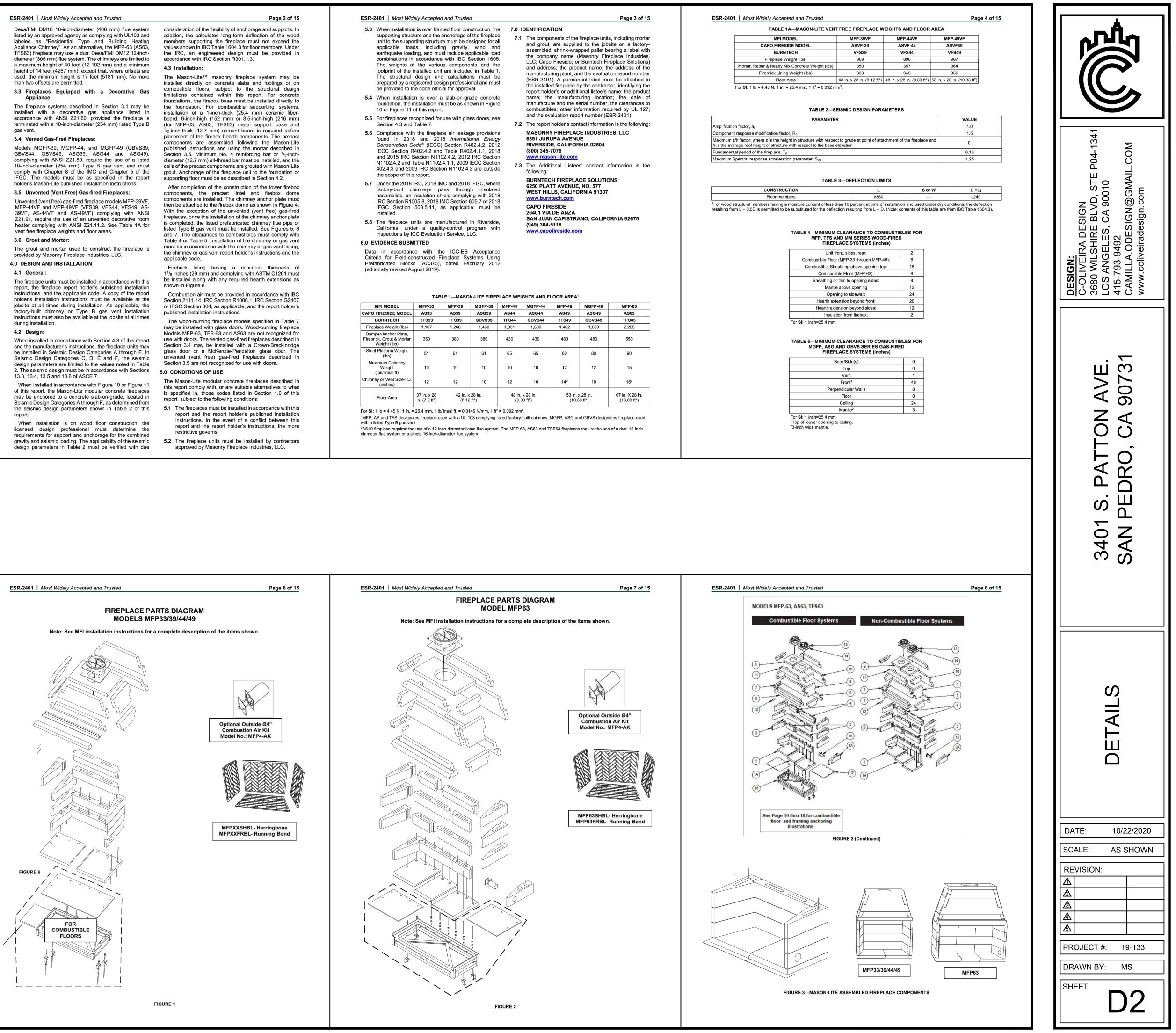
MFP-VF, VFS AND AS-VF SERIES GAS-FIRED VENT FREE FIREPLACE SYSTEMS (inches)

ESR-2401 | Most Widely Accepted and Trusted

Тор	0
Combustible Floor	0
Opening to sidewall	3
Opening to ceiling	42
Opening to mantle (0 to 10 inches)	None ¹
Opening to mantle (>10 to 16 inches)	1½1
Opening to mantle (>16 to 18 inches)	31
Opening to mantle (>18 to 20 inches)	6 ¹
Opening to mantle (>18 to 22 inches)	8 ¹
Opening to mantle (>22 inches)	10 ¹
For SI: 1 inch=25.4 mm.	
¹ Maximum mantle projection.	

TABLE 7—WOOD-BURNING FIREPLACES FOR USE WITH GLASS DOORS¹

Mason- Lite™ Fireplace Model	Mason- Lite™ Glass Door Model	Burntech Fireplace Model	Burntech Glass Door Model	Capo Fireside Fireplace Model	Capo Fireside Glass Door Model	Glass Panel Width (inch)	Overall Glass Door Width (Inch)	Glass Door height (inch)
MFP-33	MFP-33-GD	TFS33	TFS-33-GD	AS33	AS-33-GD	14 ¾	29 1⁄2	20
MFP-39	MFP-39-GD	TFS39	TFS-39-GD	AS39	AS-39-GD	17 ¼	34 ½	28
MFP-44	MFP-44-GD	TFS44	TFS-44-GD	AS44	AS-44-GD	19 ¾	39 1⁄2	28
MFP-49	MFP-49-GD	TFS49	TFS-49-GD	AS49	AS-49-GD	22 1⁄4	44 1/2	28



Back/Side(s

TABLE 6—MINIMUM CLEARANCE TO COMBUSTIBLES FOR

	name; the manufacturing location; the date of manufacture and the serial number; the clearances to combustibles; other information required by UL 127; and the evaluation report number (ESR-2401).
7.2	The report holder's contact information is the following:
	MASONRY FIREPLACE INDUSTRIES, LLC 6391 JURUPA AVENUE RIVERSIDE, CALIFORNIA 92504 (800) 345-7078 www.mason-lite.com
7.3	The Additional Listees' contact information is the following:
	BURNTECH FIREPLACE SOLUTIONS 6250 PLATT AVENUE, NO. 577 WEST HILLS, CALIFORNIA 91307 www.burntech.com

TAE	BLE 1—MASOI	N-LITE FIRE	PLACE WEI	GHTS AND F	LOOR AREA

MFI MODEL	MFP-33	MFP-39	MGFP-39	MFP-44	MGFP-44	MFP-49	MGFP-49	MFP-63
CAPO FIRESIDE MODEL	AS33	AS39	ASG39	AS44	ASG44	AS49	ASG49	AS63
BURNTECH	TFS33	TFS39	GBVS39	TFS44	GBVS44	TFS49	GBVS49	TFS63
Fireplace Weight (lbs)	1,167	1,260	1,460	1,331	1,580	1,462	1,680	2,225
Damper/Anchor Plate, Firebrick, Grout & Mortar Weight (lbs)	350	380	380	430	430	480	480	550
Steel Platform Weight (lbs)	51	61	61	65	65	80	80	90
Maximum Chimney Weight (Ibs/lineal ft)	10	10	10	10	10	12	12	15
Chimney or Vent Size-I.D. (inches)	12	12	10	12	10	14 ²	10	16 ²
Floor Area	37 in. x 28 in. (7.2 ft ²)	42 in. > (8.12			x 28 in. 33 ft ²)		x 28 in. 30 ft ²)	67 in. X 28 in. (13.03 ft ²)

ENERGY STAR CERTIFIED Residential Dishwashers

Whirlpool: WDF550SAHB

Specifications

Specifications	
Brand Name:	Whirlpool
Model Number:	WDF550SAHB
Туре:	Standard
Annual Energy Use (kWh/yr):	234
US Federal Standard (kWh/yr):	307
% Better than US Federal Standard (kWh/ yr):	24
Water Use (gallons/cycle):	3.5
US Federal Standard (gallons/cycle):	5
% Better than US Federal Standard (gallons/ cycle):	30
Connected Functionality:	No
Markets:	United States, Canada
ENERGY STAR Certified:	Yes

Additional Model Information

WDF550SAHS,UPC - 883049466491; ,WDF550SAHW,UPC - 883049467207

Captured On 08/30/2019

ENERGY STAR CERTIFIED **Residential Refrigerators**

GE : GTE18CTH****

Specifications
Brand Name:
Model Number:
Туре:
Defrost Type:
Compact:
Built-in:
Thru the Door Dispenser:
Ice Maker:
Counter Depth:
Height (in):
Width (in):
Capacity (Total Volume) (ft3):
Annual Energy Use (kWh/yr):
US Federal Standard (kWh/yr):
Connected Functionality:
Date Available On Market:
Date Certified:
Markets:
ENERGY STAR Certified:

Additional Model Information

ICC-ES Evaluation Report

	auon	Report	

<u>www.icc-es.org</u> (800) 423-6587 (562) 699-0543
DIVISION: 05 00 00—METALS Section: 05 52 00—Metal Railings Section: 05 73 13—Glazed Decorative Metal Railings
DIVISION: 08 00 00—OPENINGS

Section: 08 81 00—Glass Glazing Section: 08 88 00—Special Function Glazing

DIVISION: 32 00 00—EXTERIOR IMPROVEMENTS Section: 32 35 00—Screening Devices

REPORT HOLDER:

C.R. LAURENCE COMPANY, INC.

EVALUATION SUBJECT:

GRS[™] GLASS BALUSTRADE GUARD SYSTEM FOR MONOLITHIC TEMPERED GLASS APPLICATIONS

1.0 EVALUATION SCOPE

Compliance with the following codes: 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC)

- 2018, 2015, 2012, 2009 and 2006 International
- Residential Code® (IRC)

2013 Abu Dhabi International Building Code (ADIBC)† †The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

Structural

Durability 2.0 USES

The GRS Glass Rail System structural glass balustrades described in this report are intended for interior and exterior weather-exposed applications, and are suitable for use in most natural environments. The GRS system may be used for residential. commercial and industrial applications for guards along balconies, porches, mezzanines, stairs and similar locations except where vehicle impact resistance is required. The system is compatible with all construction types.

3.0 DESCRIPTION

3.1 General: The GRS Glass Rail System utilizes an extruded aluminum base shoe, complying with 6063-T52, to anchor and support

ESR-3269

Reissued November 2019 Revised April 2020 This report is subject to renewal November 2020.

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single fully tempered structural glass balustrades (1/2-inch [12.7 mm], 5/8-inch [15.9 mm], or 3/4-inch [19.1 mm], depending on use) which support the selected top rail and/or handrail [various profiles are made of stainless steel complying with 304 or 316 (in some cases, the top rails are required to have higher yield strengths than specified in 304 or 316 which are verified through mill certifications for the stainless steel sheets), brass complying

with C26000, or aluminum complying with 6063-T6] to construct building guards. A complete GRS specification requires identification of the top rail (cap rail) profile and material; glass thickness with the maximum and minimum light widths; glazing system (either wet or a specific dry glazing method); base shoe; and anchorage to the supporting structure. When a handrail is used, the handrail profile, mounting bracket, and mounting bracket spacing must be specified. A complete installation requires either a top rail or a handrail. The base shoe may be installed with non-structural cladding of any compatible material bonded to it with adhesive. Figure 1 shows the typical guard elevation with the components. The complete GRS specifications must be noted on plans submitted to the code official for approval.

The profiles, section properties and strengths of the various base shoes are detailed in Section 4.2.3 of this report

- The profiles, section properties and strengths of the various top rails are detailed in Section 4.2.4.
- The profiles, section properties and strengths of the various handrails are detailed in Section 4.2.7.

The glass must be Kind FT fully tempered glass conforming to the requirements of ANSI Z97.1-14, ASTM C1048 and CPSC 16 CFR 1201. The fully tempered glass must have an average Modulus of Rupture $Fr \ge 24,000$ psi. Glass type, condition, class, form, quality and finish as defined in ASTM C1036 must meet these standards and the modulus of rupture.

3.2 Durability: The materials incorporated in the system described in this report are inherently corrosion-resistant. The material type specified must be appropriate for the environment of the installation. Information verifying the durability must be submitted to the code official, when requested.

- 4.0 DESIGN AND INSTALLATION
- 4.1 General:

Installation of the GRS glass balustrade guards must comply with the manufacturer's published instructions, this

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report and IBC Sections 1015, 1607.8.1, and 2407 (2012 IBC Sections 1013, 1607.8.1, and 2407; 2009 and 2006 IBC Sections 1013, 1607.7.1, and 2407) or IRC Section R312, whichever is applicable. Handrails/grab rails must comply with IBC Sections 1011.11 and 1014 (2012 IBC Sections 1012 and 1009.15, 2009 IBC Sections 1012 and 1009.12, and 2006 IBC Sections 1012 and 1009.10) or IRC Sections R311.7.8 and R311.8.3 (2009 IRC Sections R311.7.7 and R311.8.3, and 2006 IRC Sections R3115.6 and R311.6.3), whichever is applicable The manufacturer's published installation instructions, called "GRS Glass Railing Dry Glaze Taper-Loc System for Tempered Glass Applications (AVD3919-2/11)," must be available at the jobsite at all times during installation. In the event of a conflict between this report and the manufacturer's instructions, this report governs.

4.2 Design:

4.2.1 Loading: The applicable project-specific loads must be identified. Minimum required loads are one of the followina:

50 plf (0.73 kN/m) on the top rail in any direction

200 lbs (0.89 kN) on the top rail in any direction, and 50 lbs (0.22 kN) on one square foot at any location perpendicular to the glass balustrade The wind load on the full area of glass, in psf

Wind load must be determined by a qualified individual based on the project-specific conditions, taking into account the balustrade location on the structure. For installations in compliance with the IRC Section R312, the 50 plf (0.73 kN/m) top rail load is not applicable. 4.2.2 Glass:

4.2.2.1 General: Sandblasted glass must have a 3/4-inch nominal thickness, with the allowable loads based on a 1/2-inch (12.7 mm) thickness, as noted in the tables of this report.

Minimum spacing between glass panels is 1/4 inch (6.4 mm) for 1/2-inch- and 5/8-inch-thick (12.7 and 15.9 mm) glass panels, and 1/2 inch (12.7 mm) for 3/4-inchthick (19.1 mm) glass panels.

Holes and notches must not be located within the first third of the balustrade height from the base shoe. Holes and notches must conform to ASTM C1048.

4.2.2.2 Live Loads: The allowable live load glass panel stress is equal to the modulus of rupture divided by a safety factor of 4 [24,000/4 = 6,000 psi (41.3 MPa)].

4.2.2.3 Wind Loads: Table 1 provides the allowable wind loads. This is based on an allowable wind load stress of 9600 psi.

4.2.3 Base Shoes:

The appropriate base shoe must be selected based on glass thickness, installation method and loading. Figure 2 shows the base shoe options. Tables 2a through 2g provide the allowable wind loads for the base shoes, glass thickness and anchorages. The base shoe must be installed in accordance with the manufacturer's published installation instructions and this report. The end anchor must be installed no less than 11/2 inches nor more than 12 inches from the end of the base shoes to the centerline of the anchor. A minimum of two anchors are required for any base shoe section.

4.2.3.1 Steel Substrate: The base shoe is attached to a structural steel member with a minimum thickness of 1/4 inch (6.4 mm) using 1/2-13 by 3/4-inch long,

GE
GTE18CTH****
Top Freezer
Automatic
No
No
No
Yes
No
67.3
28.0
17.5
442
484
No
2014-10-17
2014-08-27
United States, Canada
Yes
tion

Captured On: 08/30/2019

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ASTM F-837 Alloy Group 1 (condition AF with a minimum tensile strength of 67.5 ksi), stainless steel, socket head cap screws installed into tapped holes. When installation is in a through-bolt condition, the cap screw length must be increased to a length sufficient to permit proper installation with full engagement of the nut. When installation is to weld blocks, drainage blocks or solid shims more than 2 inches (51 mm) long by the full base shoe width at each

anchor, no reduction in allowable wind loads is required. 4.2.3.1.1 Surface-mounted to Steel: The allowable wind loads must be as shown in Table 2a. Guard height (Hg) is measured from the bottom of base shoe to the top of the guard. An appropriate top rail or grab rail must be used. 4.2.3.1.2 Fascia-mounted to Steel: The allowable wind loads must be as shown in Table 2b (heights from top of

base shoe to top of guard). 4.2.3.2 Concrete Substrate: The base shoe is attached

to a concrete member with a minimum thickness of 5 inches and minimum compression strength of 3,000 psi (20.6 MPa), and in an uncracked condition. The attachment is made using either a 3/8-inch-diameter-by-4-inch screw-in Hilti HUS-EZ (KH-EZ) anchor in accordance with ESR-3027, or a Hilti HSL-3 M8 x 33/4-inch (95 mm) anchor in accordance with ESR-1545. Minimum spacing between anchors is 6 inches (152 mm). For 12-inch-on-center (305 mm) anchor spacing, anchor locations may be moved to avoid reinforcement, provided

the same number of anchors is provided and no two anchors are closer than 6 inches (152 mm) center-to-center. 4.2.3.2.1 Concrete Strength: The allowable wind load (W1) for concrete strengths between 3000 psi (20.6 MPa)

and 5,000 psi (34.4 MPa) may be adjusted by applying the adjustment factor in the following equation: cw = √(f′c/3000)

 $W' = cw^*W$

where W is allowable wind load from the tables

f'c = specified concrete compressive strength, in psi 4.2.3.2.2 Sand-lightweight Concrete: When installation is into sand-lightweight concrete, the allowable wind loads from the tables in this report must be reduced by a factor of

4.2.3.2.3 Adjusted Wind Load: For a 42-inch (1067 mm) guard height, the allowable wind load from the tables in this report must be greater than 26 psf (1.25 kN/m2) in order for the guard anchorage to be able to support the 50 plf (0.73 kN/m) live load. When typical anchor spacing is 12 inches (305 mm) on center, additional anchors may be added to the base shoe (for 10-foot (304 mm) base shoes or shorter lengths) as follows to provide a 26 psf (1.25 kN/m2) allowable wind load and a 50 plf (0.73 kN/m) top rail live load:

26.0 psf \geq W' > 23.6 psf, add one anchor

23.6 psf \geq W'> 21.7 psf, add two anchors $psf \ge W' > 20.0 psf$, add three anchors

For SI: 1 psf = 0.0479 kN/m2

Added anchors must be distributed to divide the base shoe into approximately equal segments.

4.2.3.2.4 Surface-mounted: When edge distance is equal to or greater than 3.75 inches (95 mm) (concrete edge parallel to the anchor and to the centerline of the anchor) the allowable wind loads must be as provided in Table 2c for the guard height (Hg) from bottom of the base shoe. For the full anchor strength, the allowable wind load must be as provided in Table 2d. Linear interpolation between Tables 2c and 2d is permitted for edge distances from 1.75 inches to 3.75 inches.

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4.2.3.2.4.1 When installation is to drainage blocks or solid shims, 2 inches long by the full base shoe width at each anchor, the allowable wind loads must be as provided in Table 2e.

4.2.3.2.5 Fascia-mounted: When fascia-mounted to a slab edge, beam, wall or similar item, the minimum concrete thickness must be 6 inches (152 mm). The top and bottom of the base shoe must not extend past the concrete edge. The allowable wind load must be as determined using Table 2f, where guard height is total height above the top of the base shoe. Applicable adjustment factors from Sections 4.2.3.2.1 and 4.2.3.2.2 must be applied. Minimum wind loads must be verified in accordance with Section 4.2.3.2.3 4.2.3.2.5.1 Fascia-mounted over Drainage Blocks: When installation is with aluminum drainage blocks 2 inches (51 mm) wide by 4 inches (102 mm) deep at each anchor, the allowable wind load must be reduced by multiplying by 0.95 as shown in the following equation: W' = 0.95W

4.2.3.3 Wood Substrate: Wood must have a moisture content under 19 percent at the time of fabrication and be a species and grade with specific gravity $G \ge 0.49$. For exterior locations all base shoes and fasteners must be stainless steel (304 or 316). Fasteners must be tightened so that the base shoe is in tight contact with the supporting wood. 4.2.3.3.1 Surface-mounted: All base shoes are similar

and interchangeable. 4.2.3.3.1.1 Wet service (Moisture content of wood may exceed 19% at any extended period of time): Direct surface mounting of the base shoes to wood in wet service locations is prohibited. The base shoe must be attached to steel or aluminum brackets or continuous angles which are directly attached to the wood structure. Refer to Figure 3 for the aluminum bracket. Refer to Figure 4 for the steel bracket. The allowable wind loads using the steel or aluminum brackets are:

36-inch guard height, W = 46.7 psf (2.24 kN/m2)

42-inch guard height, W = 34.3 psf (1.64 kN/m2)The continuous angles must be L5x5x5/16 inch and comply with ASTM A36 with a G90 galvanization or 6063 T5 aluminum.

The base shoe must be connected to the steel angle with 1/2 inch (12.7 mm) diameter by 3/4 inch (19.1 mm) long ASTM F837 Alloy Group 1 (condition AF with a minimum tensile strength of 67.5 ksi) stainless steel socket head cap screws into tapped holes spaced 12 inches o.c. (305 mm).

The attachment of the continuous angle to the wood substrate must be with minimum No. 14x3-inch (76 mm) stainless steel wood screws spaced 3 inches on center along each leg.

Allowable wind load using the continuous angles is: 42-inch guard height, W = 68.8 psf (3.289 kN/m2)4.2.3.3.1.2 Dry service (Moisture content of wood \leq 19% at all times):

Dry service conditions include interior and exterior locations where the wood is adequately protected so that the moisture content remains at or below 19% at all times.

Base shoes are surface mounted directly to wood with a specific gravity $G \ge 0.49$ and a compressive strength

ENERGY STAR CERTIFIED Smart Thermostats

Honeywell - TCC : TCC

Specifications

ENERGY STAR Partner:	Honeywell International Inc.
Service Brand Name:	Honeywell
Service Model Name:	тсс
Service Model Number:	тсс
Thermostat Brand Owner:	Honeywell
Thermostat Brand Name:	Honeywell
Thermostat Model Name:	Wi-Fi Smart Color Thermostat
Thermostat Model Number:	RTH9585WF****
Family ID:	FAM_1020554_03282018161405_3655163
Standby Power (W):	0.93
Thermostat Heating and Cooling Control Features:	Time of Day Usage, External Temperature Detection, Humidity Sensing
Thermostat Communication Method:	Wi-Fi
Demand Response Summary:	Honeywell's connected thermostat family is enabled to respond to Demand Response (DR) events that utilities call to mitigate certain risks to the grid. These programs ultimately save consumers money while preventing adverse effects on their service. Honeywell's thermostats are utilized by a variety of optimization/DR firms that access our thermostats through APIs. Set points can be continuously optimized for a number of factors including real time weather and a home's thermodynamic properties, resulting in additional energy savings. Similarly, our thermostats can be controlled by multiple Demand Response Management Systems (DRMS) systems shedding load at peak periods. Features include pre-cooling and various shed strategies (cycling, temperature off-set, etc.). Our UI and apps allow for consumers to be alerted of events and offer the ability to opt out should the need occur. Feedback on an event's opt-outs, overrides and load shed performance are available through API to the Load Managing Entity.
Date Available on Market:	2015-08-21
Date Certified:	2018-04-24
Markets:	United States, Canada
ENERGY STAR Certified:	Yes

Additional Model Information

Captured On: 08/30/2019

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perpendicular to the grain \geq 625 psi (4.1 MPa). The base shoe must be anchored with 3/8-inch (9.5 mm) diameter by 5-inch (127 mm) long lag screws.

The B5L base shoe must not be used for surface mounting to wood when guard height exceeds 24 inches (610 mm). Lag screw length must be increased as needed to obtain

a minimum of 31/2" embedment into the solid wood when subfloor thickness exceeds 3/4 inch.

4.2.3.3.1.2.1 One- and Two-family Dwellings and IRC Applications [(200 pounds (0.89 kN) Top Rail Live Load Only)]: When installed in private residences, the anchors must be installed at 12 inches (305 mm) on center or less. For a 36-inch (914 mm) guard height, the minimum number of anchors is four; and for a 42-inch (1067 mm) guard height, the minimum number of anchors is five.

4.2.3.3.1.2.2 Other Locations [(50 plf (0.73 kN/m) Top Rail Live Load)]: When installed in applications where the 50 plf (0.73 kN/m) live load is applicable in accordance with IBC Section 1607.8.1 (2009 and 2006 IBC Section 1607.7.1), the anchors must be installed at 6 inches (152 mm) on center or less. The minimum number of anchors in any guard segment is five.

4.2.3.3.2 Fascia-mounted: The base shoes must be attached with 1/2-inch-by-4-inch (12.7 mm by 102 mm) lag screws installed directly to the structural wood member. The top of the base shoe must be flush with or below the top of the beam corner radius and the beam must extend below the bottom of the base shoe. The allowable wind load must be as determined in accordance with Table 2G. Linear interpolation for other heights or anchor spacing is allowable.

4.2.4 Top Rails: A top rail is required for a code- compliant guard installation, except as noted in Figure 1. The term "cap rail" denotes the same thing as "top rail" and the two may be used interchangeably. The top rail is installed in accordance with the details provided in the manufacturer's installation details referenced in Section 4.1 of this report.

4.2.4.1 Support: The top rail must be installed so as to remain in place in the event of the failure of any one glass light. This requires the use of a minimum of three glass lights or a combination of other top rail supports and glass lights totaling three, minimum. Figure 5 illustrates the top rail support conditions. The top rail end condition (Figure 6) must be checked to verify that the rail will remain in place in the event of failure of the end glass light. End support must be designed when required for a code-compliant installation. The stabilizing end cap shown in Figure 14 is an acceptable method of end support.

4.2.4.2 Top Rail Profiles: The top rail profiles are shown in Figure 7. The maximum middle and end spans of the top rail profiles supported by glass only are given in Table 3.

4.2.4.3 Stainless Steel End Post: Where the end glass panel width exceeds the maximum end top rail span in Table 3, the top rail must be supported at the end by a post or the wall. A stainless steel post inserted in the base shoe and top rail may be used, as shown in Figure 6. The post minimum width for a maximum glass height of 42 inches (1067 mm) must be as shown in Table 4. Posts may either match glass thickness or fit tightly into the base shoe

4.2.5 Taper-Loc® X Dry Glazed System:

4.2.5.1 Description: This is a dry glazing system where the glass is clamped inside the base shoe by the Taper-Loc®

is too shallow for the tapers.

4.2.6.1 Installation: Minimum grout compressive strength must exceed 1,500 psi (10.3 Mpa) at 24 hours, and 4,000 psi (27.6 MPa) at 28 days. The grout must be mixed, placed and cured in accordance with the grout manufacturer's instructions. Wet glazing grout must be continuous in the base shoe, filling all voids, and extend to the roll-in rubber glazing channel in the base shoe. 4.2.7 Handrails:

4.2.7.1 Use: Handrails are required along ramps and stairs in accordance with IBC Sections 1011.11 and 1012.8 (2012 IBC Sections 1009.15 and 1010.9, 2009 IBC Sections 1009.12 and 1010.8, and 2006 IBC Sections 1009.10 and 1010.8) or IRC Sections R311.7.8 and R311.8.3 (2009 IRC Sections R311.7.7 and R311.8.3 and 2006 IRC Sections R311.5.6 and R311.6.3), as applicable. Also, the handrail must comply with the applicable code sections noted in Section 4.1 of this report. 4.2.7.2 Brackets: C.R. Laurence brackets covered by this report are HR2S, HR2D, HR3E, HR2F, HR15G, and HR2J (see Figure 11). The handrails listed in Section 4.2.7.3 may be used with any of the brackets or

combination of brackets shown in this report such that the handrail clearance and projections are within the limits defined in the IBC Section 1014 (2012, 2009, and 2006 IBC Section 1012). The outer diameter of the handrail tubing attached to the HRE3 brackets shall not exceed 1.5 inches

4.2.7.3 Handrail: The handrails may use any of the rails noted below

aluminum aluminum

2-inch OD by 0.05-inch tube - stainless steel 4.2.7.4 Installation: Handrails may be installed to glass balustrade guards using the through-glass mounting brackets shown in this report (see Figure 11). The brackets must be installed in accordance with the manufacturer's instructions. The glass holes must comply with Section 4.2.2.2 of this report.

4.2.7.5 Support: The handrail must be installed so as to remain in place in the event of the failure of any one glass light. This requires the use of a minimum of three glass lights or a combination of other handrail supports and glass lights

overrides and Load Managing

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Shoe Setting Plate (an L-shaped piece on the back side) and the Taper-Loc® Shim Plates (front side), as illustrated in Figure 8. The glass is locked in place by the compressive forces created by the Taper-Loc® shim plates being compressed together by the installation tool. Use of the calibrated installation tool assures that the proper compressive forces are developed. The Taper-Loc® system is compatible with all base shoes except for the B5L, which

4.2.5.2 Use: The appropriate Taper-Loc® set must be used for the specified base shoe and glass thickness, and installed in accordance with the manufacturer's printed instructions using the calibrated installation tool. Figure 8 shows the applicable dimensions. The spacing of the Taper-Loc® sets must be as noted in Figure 8.

4.2.6 Wet Glazing: Glass may be wet glazed into any of the base shoes using a pourable grout that is compatible with aluminum and glass (see Figure 9).

11/4-inch Schedule 40 pipe - steel, stainless steel or

11/2-inch Schedule 40 pipe - steel, stainless steel or

11/2-inch OD by 1/8-inch tube - stainless steel or aluminum 11/2-inch OD by 0.05-inch tube - stainless steel

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totaling three, minimum, similar to the top rail support illustrated in Figure 5. The handrail end condition must be checked to verify that the rail will remain in place in the event of failure of the end glass light. End support must be designed when required for a code-compliant-installation. 4.2.7.6 Spacing: The bracket spacing must be within the limits shown in Table 5, with dimensions as defined in Figure

4.2.7.7 Attachment: The handrail, when supported by the glass balustrade, must be attached to one of the brackets noted in this report, in accordance with the detail shown in Figure 12, and to the glass as shown in Figure 13. Alternative attachment must be designed to safely support the loads as given in the IBC Section 1607.8.1 (2009 and 2006 IBC Section 1607.7.1), whichever is applicable. The stabilizing end cap shown in Figure 14 may be used to attach the handrail or top rail to a wall or perpendicular post

5.0 CONDITIONS OF USE

The C.R. Laurence Glass Rail System described in this report complies with, or is a suitable alternative to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The product is limited to installation where it is not subject to vehicle impacts.
- 5.2 Installation must comply with this report, the manufacturer's published installation instructions, and Sections of the IBC or Sections of the IRC, identified in Section 4.1 of this report, whichever is applicable. When the manufacturer's instructions conflict with this report, this report governs.
- 5.3 Under the 2018 and 2015 IBC the single fully tempered glass is limited to uses in handrails and guardrails where there is no walking surface beneath them or the walking surface is permanently protected from the risk of falling glass, as noted in the exception in Section 2407.1 of the IBC.
- 5.4 The supporting structure must be designed and constructed to support the loads imposed by the GRS guards in accordance with the applicable code. The anchorage to the frame must be as specified in this report or designed to provide the required strength for the specified balustrade height and imposed loads. Drawings and design details for the GRS system, using the information noted in this report, must be included on construction plans submitted to the code official for approval. The drawings and details must be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.
- 5.5 When use is in exterior locations, the wind loads on the GRS guards must not exceed the values noted in this report. For glass heights other than those noted in this report. the allowable wind loads must not exceed the value calculated by the following equation:

W = <u>(Mgmax/2.</u>5) (0.55*H2)

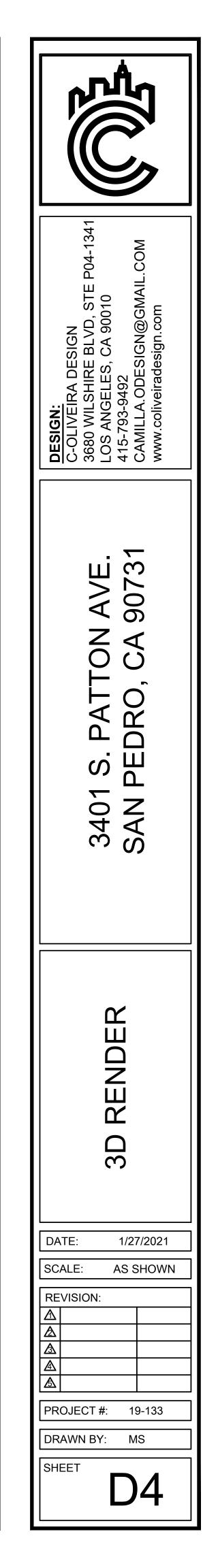
H = glass height above supports, in feet Mgmax/2.5 = 352 ft-lb for 1/2-inch fully tempered glass 566.4 ft-lb for 5/8-inch fully tempered glass 827.2 ft-lb for 3/4-inch fully tempered glass

DESIGN: C-OLIVEIRA DESIGN 3680 WILSHIRE BLVD, STE P04-1341 LOS ANGELES, CA 90010 415-793-9492 CAMILLA.ODESIGN@GMAIL.COM www.coliveiradesign.com
3401 S. PATTON AVE. SAN PEDRO, CA 90731
DETAILS
DATE: 10/22/2020 SCALE: AS SHOWN REVISION:



NORTH ELEVATION

N.T.S.



ANDREW PHILIP MENZES

423 West 20th Street San Pedro, CA 90731 P: 3107554559 macksgeemail@gmail.com Invoice Estimate # 12019 Date: Jun 27, 2019 Due date: Jul 11, 2019

> Bill To Coastal SPNC

ATTN: Treasurer, Coastal SPNC 1840 S. Gaffey Street #34 San Pedro, CA 90731 cspnc.org

#	Item	Qty	Unit cost	Amount
1	Coastal Meeting July18-Dec18 Flat rate for keys, tables, chairs and audio(Ended 1/1/2019)	6	\$195.00	\$1,170.00
2	Equipment Pickup & Delivery Hourly Jan 2019 - Jun 2019 6 Months @ .5hrs each	3	\$50.00	\$150.00
3	Business Hours Key Pickup Jan 2019 - Jun 2019	6	\$50.00	\$300.00
4	Strike/ Set Hourly Jan 2019 - June 2019 Mtg Setup and Cleanup	6	\$50.00	\$300.00
5	Audio Tech Hourly Jan. Mtg Adj @ 8pm	1.5	\$65.00	\$97.50
6	Audio Tech Hourly Feb. Mtg Adj @ 10pm	3.5	\$65.00	\$227.50
7	Audio Tech Hourly Mar. Mtg Adj @ 830pm	2	\$65.00	\$130.00
8	Audio Tech Hourly Apr. Mtg Adj @ 930pm	3	\$65.00	\$195.00
9	**Estimated Audio Tech Hourly** May Mtg Estimate based on Jan-Apr19 hours	2.5	\$65.00	\$162.50
10	**Estimated Audio Tech Hourly** June Mtg Estimate based on Jan-Apr19 hours	2.5	\$65.00	\$162.50

Notes: This Detailed Estimate is Intended for The CSPNC Budget and Finance Committee and is for Reference Only.

Subtotal: \$2,895.00

Payment Options Make checks payable to Andrew Philip Menzes

Total: \$2,895.00

ANDREW PHILIP MENZES

423 West 20th Street San Pedro, CA 90731 P: 3107554559 macksgeemail@gmail.com Invoice Invoice # 22018 Date: Apr 24, 2019 Due date: Jun 23, 2019

Bill To

Coastal SPNC ATTN: Treasurer, Coastal SPNC 1840 S. Gaffey Street #34 San Pedro, CA 90731 cspnc.org

#	Item	Qty	Unit cost	Amount
1	Coastal Meeting Flat Rate	6	\$195.00	\$1,170.00
2	Audio Tech Hourly	15	\$65.00	\$975.00
3	Equipment Pickup & Delivery	3	\$50.00	\$150.00
4	Strike / Set Hourly	6	\$50.00	\$300.00
5	Business Hours Key Pickup	6	\$50.00	\$300.00

Notes:

Payment Options Make checks payable to Andrew Philip Menzes Subtotal: \$2,895.00

Total: \$2,895.00 Paid: \$0.00

Balance Due: \$2,895.00